

BICKFORD RANCH DEVELOPMENT STANDARDS

**APPROVED BY
PLACER COUNTY BOARD OF SUPERVISORS
ORDINANCE NUMBER _____**

SEPTEMBER 1, 2004

**LEAD AGENCY:
PLACER COUNTY PLANNING DEPARTMENT
11414 B AVENUE
AUBURN, CALIFORNIA 95603**

PROJECT PROPONENTS

Lennar Communities
1075 Creekside Ridge Drive, Suite 110
Roseville, California 95678
(916) 783-3224

CIVIL ENGINEER

G/W Consulting Engineers
7447 Antelope Road Suite 202
Citrus Heights, California 95621
(916) 723-0210

TABLE OF CONTENTS

INTRODUCTION

1. RESIDENTIAL LAND USE

1.1	Permitted Uses	1-1
1.2	Uses Permitted with a Minor Use Permit	1-2
1.3	Uses Not Specifically Identified	1-3
1.4	Residential Development Standards	1-3
1.5	Exceptions	1-5
1.6	Residential Development Restrictions	1-6
1.7	Tree Restrictions	1-6
1.8	Slope Easements	1-7
1.9	Summary of Visual Restrictions	1-7
1.10	Garage and Driveway Treatments	1-10
1.11	Right to Farm	1-15

2. COMMERCIAL LAND USE

2.1	Permitted Uses	2-1
2.2	Uses Permitted with a Minor Use Permit	2-2
2.3	Prohibited Uses	2-2
2.4	Commercial Development Standards	2-3
2.5	Timing of Village Commercial Site	2-4

3. OPEN SPACE LAND USE

3.1	Permitted Uses	3-1
3.2	Uses Permitted with a Minor Use Permit	3-2
3.3	Open Space Standards	3-3

4. CIRCULATION STANDARDS

4.1	General Design Criteria	4-1
4.2	Road Sections	4-2
4.3	Clark Tunnel Road	4-21
4.4	Typical Cul-de-Sac Section	4-22
4.5	Streets with Entry Gates	4-23
4.6	Golf Cart Crossing	4-24
4.7	Trails	4-24

5.	PARKING STANDARDS	
5.1	Shared Parking	5-1
5.2	Parking Lot Design	5-1
5.3	Parking Standards	5-2
6.	NOISE	
6.1	Noise Development Standards	6-2
7.	SAFETY STANDARDS	
7.1	Residential and Commercial Security Standards	7-1
7.2	Fire Safety Standards	7-1
7.3	Fuel Reduction	7-1
7.4	Fire Protections Easements	7-7
8.	SITE DEVELOPMENT & GRADING	
8.1	Grading Goals	8-1
8.2	Grading and Site Development Standards	8-2
8.3	Residential Grading Plans	8-7
8.4	General Lot Grading Standards	8-9
8.5	Specific Grading Standards for the Meadows and Ridges (Type A Lots)	8-10
8.6	Specific Grading Standards for Heritage Ridge (Type B Lots)	8-10
8.7	Grading Transitions	8-13
8.8	Grading Terraces	8-14
9.	PUBLIC UTILITIES	
9.1	General Standards	9-1
9.2	Electricity and Gas Lines	9-1
9.3	On-Site Wastewater Facilities	9-1
9.4	Potable Water Facilities	9-2
9.5	Water Storage Tank	9-2
10.	SIGNAGE	
10.1	Signage Theme	10-1
10.2	Signage Standards	10-2
10.3	Community Monument Signs	10-3
10.4	Residential Signage	10-4
10.5	Village Commercial Signage	10-6
10.6	Directional Signage	10-9
10.7	Temporary Signs	10-11
10.8	Prohibited Signage	10-11
10.9	Regulatory Signs	10-11

10.10	Street Signs	10-12
11.	OUTDOOR STORAGE	
11.1	Outdoor Storage Standards	11-1
11.2	Outdoor Sales, Storage and Display	11-2
12.	LIGHTING	
12.1	Lighting Goals	12-1
12.2	General Lighting Standards	12-2
12.3	Commercial Lighting	12-3
12.4	Street Lighting	12-5
12.5	Prohibited Lighting	12-7
12.6	Exemptions	12-7
13.	FENCES AND WALLS	
13.1	Design Goals	13-1
13.2	General Fence and Wall Standards	13-1
13.3	Fences and Wall Height Limitations	13-3
13.4	Community Fences	13-4
13.5	Community Walls	13-5
13.6	Wrought Iron Fence (Open View Fence)	13-7
13.7	Rail Fences (Open View Fence)	13-7
13.8	View Fences (Open View Fence)	13-8
13.9	Open Wire Fence	13-9
13.10	Fencing Limitations	13-10
14.	AIR QUALITY	
14.1	Residential Requirements	14-1
14.2	Village Commercial Site Requirements	14-2
14.3	Plan Area Requirements	14-2
14.4	Construction Requirements	14-3
15.	DEVELOPMENT NOTEBOOK	
15.1	Key Map	15-1
15.2	Information Sheet	15-1
15.3	Plot Plans	15-4

FIGURES

1.1	Lots with Visual Height Restrictions	1-1
4.1	Street Circulation	4-3
4.2	Sierra College Boulevard	4-4
4.3A	Bickford Ranch Road – Sierra College Boulevard To Lower Ranch Road	4-5
4.3B	Bickford Ranch Road – Lower Ranch Road to Heritage Ridge Main Entry	4-6
4.3C	Bickford Ranch Road – Heritage Ridge Main Entry To Ridge 18	4-8
4.3D	Bickford Ranch Road with Frontage Road	4-9
4.4A	Lower Ranch Road within the Meadows Community	4-10
4.4B	Lower Ranch Road Adjacent to Hillside	4-11
4.4C	Lower Ranch Road Along Ridge 6A and B	4-12
4.5A	Rural Residential Street	4-13
4.5B	Minor Rural Residential Street	4-14
4.5C	Private Driveway	4-15
4.6A	Ridge Residential Street Type A Lots	4-16
4.6B	Ridge Residential Street Type B Lots	4-16
4.7A	Heritage Ridge Drive	4-17
4.7B	Heritage Ridge Drive with Frontage Street	4-18
4.7C	Heritage Ridge Drive – Clubhouse to H31/H33	4-19
4.7D	Heritage Ridge Residential Street	4-20
4.8	Clark Tunnel Road (North)	4-21
4.9	Typical Cul-de-Sac Section	4-22
4.10	Typical Entry Gate	4-23
4.11	Village Center Golf Cart Crossing	4-24
4.12A	Trail Design Cross Sections	4-25
4.12B	Trail System	4-26
7.1	Open Space Fire Access	7-2
7.2	Modified Shaded Fuel Break	7-3
7.3	Sample Deed Restriction	7-8
8.1	Master Grading Concept	8-3
8.2	Drainage System	8-4
8.3	Residential Lot Grading Concepts	8-8
8.4	Grading for Meadows and Ridges	8-11
8.5	Grading in Heritage Ridge	8-12
8.6	Grading Transitions	8-14
9.1	Water Storage Tank	9-3
10.1	Monument Signage	10-4
10.2	Residential Monument Signage	10-5
10.3	Village Commercial Monument Signage Locations	10-6

10.4	Village Commercial Monument Signage	10-8
10.5	Directional Signage	10-10
13.1	Potential Fence and Wall Locations	13-2
13.2	Privacy Wood Fence	13-5
13.3	Privacy Wall and Pilaster	13-6
13.4	Wrought Iron Fence	13-7
13.5	Rail Fence	13-8
13.6	View Fence	13-9
13.7	Open Wire Fence	13-10
15.1	Development Notebook Sample Key Map	15-2
15.2	Development Notebook Sample Information Sheet	15-3
15.3	Development Notebook Sample Plot Plan	15-5

TABLES

1.1	Residential Land Use Designations	1-1
1.2	Residential Development Standards	1-4
1.3	Visual Restriction Matrix	1-8
3.1	Open Space Districts	3-1
3.2	Uses Permitted in Open Space	3-2
3.3	Uses Permitted in Open Space with Minor Use Permit	3-3

Documents Related to the Bickford Ranch Development Standards

Bickford Ranch Specific Plan
Bickford Ranch Design Guidelines
Bickford Ranch Environmental Impact Report
Bickford Ranch Fiscal Impact Analysis

INTRODUCTION

The purpose of the Development Standards is to provide the regulatory framework for the implementation of the Bickford Ranch Specific Plan goals and policies. Adopted by ordinance, the Development Standards serve as a stand-alone document governing development, improvements and construction within the Plan Area.

Scope of Development Standards

The Development Standards are intended to replace the Placer County Zoning Ordinance and serve as the zoning and use regulations for the Bickford Ranch Specific Plan area ("Plan Area"). Mitigation measures governing the use, development and construction within the Plan Area have been incorporated where appropriate.

On _____, 2004, the Board of Supervisors approved these Standards by Ordinance Number _____. Ordinance _____ is contained in Appendix A.

The Bickford Ranch Specific Plan Area shall be governed by the development standards contained in the Bickford Ranch Development Standards. These standards are intended to apply exclusively to the Bickford Ranch Specific Plan Area. Where no standards are provided in this document, the standards contained in the Placer County Zoning and Subdivision Ordinances and/or the Land Development Manual ("County Codes") shall apply.

These Standards supersede and replace conflicting County standards for the purposes of the Bickford Ranch Plan Area. If any provisions contained in these Standards conflict with those contained in the Placer County Zoning and Subdivision Ordinances and/or the Land

Development Manual ("County Codes"), the provisions of the Bickford Ranch Development Standards, as set forth herein shall take precedence.

The Planning Director or designee shall determine the consistency between any development proposal within the Plan Area and the Bickford Ranch Specific Plan. Appeals of the Planning Director's determinations may be made to the Board of Supervisors.

Development Standards Modifications

The Development Standards may be modified as necessary pursuant to the provisions of Government Code Section 65853 et seq. and County Code Chapter 25.100, unless the application to amend the Development Standards is accompanied with a concurrent Specific Plan amendment request.

A concurrent Specific Plan Amendment shall not be required to revise the Development Standards provided the Development Standard revision request satisfies all of the following:

- The revision in the Development Standard does not materially change a physical characteristic of the anticipated development.
- The objectives and intent of the Specific Plan are better served through the revision in the Development Standard.
- The revision in the Development Standard does not materially change the general land use pattern of the Plan Area.
- The revision in the Development Standard is consistent with the Specific Plan and General Plan.
- No increase in the overall density will result through the revision to the Development Standard.

Enforcement

The provisions of these Development Standards shall be enforceable by the Planning Director or designee in the same manner as other provisions of the Placer County Zoning Ordinance.

1. RESIDENTIAL LAND USE

The Residential Land Use section regulates the permitted and conditionally permitted uses and development standards for all residential areas within the three communities in the Plan Area. The Plan Area includes three communities: The Meadows, The Ridges, and the Heritage Ridge communities. The Ridge Community does not include Heritage Ridge. The Plan Area has seven different single family residential categories identified in Table 1.1. For each residential category, the corresponding County residential zoning district is identified.

TABLE 1.1
RESIDENTIAL LAND USE DESIGNATIONS

Key	Residential Designations	Minimum Single Family Lot Size	County Zoning Districts
RE	Rural Estate	3.0 acres	RA
RR	Rural Residential	1.0 acres	RA
ER	Estate Residential	0.3 acre	RS
LDR	Low Density Residential	7,000 square feet	RS
MLD	Medium Low Density	6,000 square feet	RM
MD	Medium Density	5,000 square feet	RM
VR	Medium High Density	Up to 25 units per acre	RM

Permitted, conditionally permitted, and a partial list of prohibited uses for each zoning category are identified below.

1.1 PERMITTED USES

Uses permitted within residential land uses include:

1. Single family units.

2. Secondary residential units are permitted on lots 1-acre and larger.
3. Attached units are permitted within MLD, MD and VR categories.
4. Multi-family housing units are permitted within the VR category.
5. Underground utility installations, and above ground utility installations for local service, except those uses noted in Section 1.2.
6. Accessory uses and structures customarily incidental to a permitted use.
7. Animal habitation to a maximum number per County Ordinance.
8. Temporary uses (model homes, temporary construction offices and facilities, real estate signs, for sale signs of lot on which sign is located, future development signs).
9. Telecommuting.
10. Gardening/nursery outlet (wholesale) on lots larger than five acres.

1.2 USES PERMITTED WITH A MINOR USE PERMIT

The following uses are permitted in Plan Area residential land use areas (with the exception of the Village Residential site) with approval of a Minor Use Permit, as specified in the Placer County Zoning Ordinance:

1. Temporary real estate sales offices;
2. Substations, generation plants, public utility communication building, and gas holders;
3. Nursery schools and day care centers;
4. Temporary construction offices and equipment yards;
5. Commercial recreation vehicle storage (open & enclosed), with the exception of personal recreational vehicle storage.
6. Church, temple or other worship facility.

1.3 USES NOT SPECIFICALLY IDENTIFIED

Uses not specifically identified in these Development Standards, but permitted under the Placer County Zoning Ordinance categories of Residential-Agriculture (RA), Single Family Residential (RS) and Residential Multi-Family (RM), may be allowed as a permitted use or conditionally permitted use in the corresponding Bickford Ranch residential designation. These uses are a permitted use or conditionally permitted use at the discretion of the Planning Director if the intended use is consistent with the intent and purpose of the Specific Plan and compatible with the adjacent land uses.

1.4 RESIDENTIAL DEVELOPMENT STANDARDS

Residential development standards are presented in Table 1.3 for all residential categories in the Plan Area. All buildings, structures and accessory structures (pools, gazebos, etc.) shall conform to these restrictions unless otherwise noted in Table 1.2. All setbacks are measured horizontally from property lot line to the building or structure.

TABLE 1.2
RESIDENTIAL DEVELOPMENT STANDARDS

	RE	RR	ER	LDR	MLD	MD	VR	Except
Residential Area	M-1A, B, M-2A, B, M-3, M-4, M-5, R-6 D, E, R-10, R-18A, R-19, R-20	R-18B, R-20	R-6A, C, R-11A, R-12, R-13A, R-17A, B, R-18A	R-7A, R-8A, R-9A, R-13A, B, R-14, R-15A, B, R-16, H-27	H-24, H-25, H-26, H-29, H-30, H-30, H-32, H-34	H-21 A, B, H-22 A, B, H-23 A, B, H-28, H-31, H-33	R-7 B, C, R-6B, R-8B, R-9B	
Single Family Residential	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted	
Single Family Residential Attached Units	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Permitted	Permitted	Permitted	
Secondary Unit	Permitted	Permitted	Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	
Multi-Family Residential and/or townhomes	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Permitted	Permitted	
Lot Area Minimum	3.0 acre	1.0 acre	0.3 acre	7,000 sf	6,000 sf	5,000 sf	N/A	
Lot Width Minimum	150'	125'	80'	65'	60'	50'	N/A	
Lot Depth Ratio	4:1	4:1	4:1	3:1	3:1	3:1	3:1	
Front Yard Setback Minimum	50'	25'	20'	20'	20'	20'	20'	1, 2, 3
Side Street Setback Minimum	50'	25'	20'	20'	20'	20'	20'	2, 3, 5
Side Yard Setback Minimum	30'	30'	One story – 5 feet Two or more stories – 7.5 feet		5'	5'	5'	2, 3, 5
Rear Yard Setback Minimum	30'	30'	25'	20'	20'	20'	15'	2, 3, 5
Accessory Structure Rear Setback Minimum	30'	30'	5'	5'	5'	5'	5'	
Structural Lot Coverage Maximum	20%	30%	50%	None	None	None	None	
Height – Maximum	36'	36'	36'	32'	32'	25'	42'	4
Fences and Walls Maximum Height	6'0"	6'0"	6'0"	6'0"	6'0"	6'0"	6'0"	
Parking Minimum	2 covered spaces	2 covered spaces	2 covered spaces	2 covered spaces	2 covered spaces	2 covered spaces	1 covered space	6
Caperton Canal Setback to Structure	100'	100'	100'	100'	100'	100'	100'	

1.5 EXCEPTIONS

The following exceptions correspond to the notes contained in the last column of Table 1.2.

1. Front Yard Setback

On a cul-de-sac or along a curved street, the minimum lot width may be decreased so long as the setback is increased so that is as far back on the lot as necessary to meet the minimum lot width at that point.

On corners with a walkway and an adjoining residential lot, the front setback may be reduced to a side setback standard.

2. Noise

Where it is necessary to reduce noise impacts associated with properties adjacent to heavily traveled streets, alternative setbacks and height standards may be authorized in addition to the use of earthberms or walls (as a last resort). Tentative maps and specific development plans will be reviewed for compliance with mitigation measures to reduce noise impacts along project roadways.

3. Permitted Encroachments

Canopies, cornices, eaves, rain gutters, and other architectural features supported from the structure may project into a required setback. Air conditioner units may be located within a side yard setback.

4. Building Height

Building height shall be measured consistent with the definition contained in the Placer County Zoning Code. Building heights shall be the more restrictive of the heights listed in Table 1.2 or Table 1.3 or as described elsewhere herein.

Chimneys, vents, and other architectural or mechanical appurtenances on buildings may be a maximum of fifteen percent (15%) higher than the height limit of the applicable zone.

5. Side Yard & Rear Yard Setback

On lots between one and two acres in size, the standard 30-foot side yard setback may be reduced to a minimum of 20 feet on that side where located adjacent to a lot with a recorded 10-foot wide fire protection

easement. On lots that abut open space, the minimum setback shall be thirty feet (30'). In the Village Residential sites, side yard and rear yard setbacks shall only apply to the outside and or end unit.

Lots 24, 27-32 of R-15 A and lots 21-22 of R-15B shall have a minimum rear yard setback of 50 feet.

6. Parking for Village Residential Townhomes

Parking for Village Residential townhomes shall be one (1) covered plus one (1) additional off-street or on-street parking space.

1.6 RESIDENTIAL DEVELOPMENT RESTRICTIONS

All residential lots within the Plan Area shall be subject to the requirements of a Development Notebook that will define the restrictions particular to individual lots.

The following restrictions apply to all lots in the Plan Area in order to ensure the structures blend into the surrounding vegetation and landscape and that the visual integrity of the Plan Area is not compromised.

1.6.1 Color Restrictions

All structures including roofs and accessory structures shall conform to the general color palette identified in the Bickford Ranch Design Guidelines.

1.6.2 Glazing

All glass above 20' in height shall be low-reflective.

1.6.3 Lighting

All exterior lighting shall be below 20' in height and shall conform to the Bickford Ranch lighting requirements in Section 12 unless the DSRC determines that alternative standards are appropriate for the Village Commercial Site.

1.7 TREE RESTRICTIONS

To comply with specific plan policies regarding preservation of ridgelines and skylines, lots identified with Tree Restrictions in Table 1.3 are subject to the following:

Parcel	Lots	Tree Removal Restriction (1)	Slope Restrictions (2)	Maximum Height Restrictions (3)	Pad Elevation Restrictions (4)
H-28	1-56	No	No	25'	Lots 1-56
H-29	1-24	No	No	25'	Lots 1-24
H-30	1-82	No	No	25'	Lots 1-82
H-31	1-28	No	No	25'	Lots 1-28
H-32	1-49	No	No	25'	Lots 1-49
H-33	1-57	No	No	25'	Lots 1-57
H-34	1-37	No	No	25'	Lots 1-37

Notes:

Entire Table: "X " indicates restriction applies to all lots; "No" indicates that no restriction applies. Where subset of lots is listed, restriction applies only to the subset of lots.

1. Tree Removal Restrictions: Tree removal is restricted on these lots to ensure that visibility of structures is minimized. Additional information regarding tree removal is contained in Section 1.7 and the Development Notebook for the lot.
2. Slope Restrictions: Building restrictions apply to these lots due to extreme slopes (greater than 30 percent). Additional information regarding slope restrictions is listed in Section 1.8 and 8.3.2. Slope easements shall be identified on the tentative map and are identified on the Development Notebook for the lot.
3. Maximum Height Restrictions: The maximum height of structures is listed. Heights listed supersede Table 1.2. Height restrictions shall be listed in Development Notebook for the lot.
4. Pad Elevation Restrictions: Restrictions have been placed on pad elevations to minimize visual impacts. Pad elevation restrictions apply to graded lots and are identified to provide a conservative minimum pad elevation to minimize reduce impacts related to pad placement. Pad elevation restrictions shall be listed in Development Notebook for the lot and are subject to tentative map review.

Additional information regarding the visual analyses prepared for the project is contained in Appendix G of the Bickford Ranch Draft EIR.

The maximum building heights for selected lots are provided. The maximum height of any lots shall be the more restrictive of the heights listed in Table 1.2 or Table 1.3. At tentative map review, pad elevations will be verified to ensure that building heights do not exceed the maximum building height allowed.

Lots with visual height restrictions are identified in Figure 1.1.

1.10 GARAGE AND DRIVEWAY TREATMENTS

The following garage and driveway orientations shall apply to the following residential designations.

In the standards below, where the unit includes a side-facing garage, the side of the garage facing the street shall be considered as part of the front of the unit, and the measurement of width shall be the exterior width of that portion of the structure.

1.10.1 Rural Estate and Rural Residential Lots

The garage portion of at least thirty percent (30%) of the units shall be designed so that garage doors face the side of the lot.

For at least an additional thirty percent (30%) of the units, the garage portion of the unit shall either face the side of the lot or the garage portion, measured at the garage door, shall be recessed a minimum of ten feet (10') behind the front of the house ("front" meaning the forward-most portion of the house covered by the roof) and the width of the garage shall not exceed forty percent (40%) of the total width of the structure.

In the remaining units in the Rural Estate and Rural Residential designations, the garage:

- a. shall be recessed at least three (3) feet behind the front of the house; and
- b. shall have garage doors with raised panels and windows or comparable design features, stained or painted to complement the color and style of the house; and
- c. shall be of a design which includes one or more of the following architectural features appropriate to the specific architectural style of the home:

STATE HIGHWAY 193



- a trellis feature, in front of and spanning the width of the garage(s) at least three feet wide, which could serve to support plants; or
- an off-set of at least two feet difference between the faces of the individual single-car width garage doors (not acceptable with a double car width garage door); or
- a roof features that creates the look of an individual gable roof (or other design appropriate to the style of the house) over one of the two garage doors, and is architecturally distinct from the roof over the second garage door; or
- any architectural wall which generally connects the garage and the front of the house to enclose a courtyard and which extends at least five feet closer to the street than the face of the garage (any such wall, if within the front setback area shall not exceed three feet in height); or
- include separate single-car width garage doors.

1.10.2 Estate Residential and Low Density Residential Lots

The garage portion of at least thirty percent (30%) of the units shall be designed so that garage doors face the side of the lot.

For at least an additional thirty percent (30%) of the units, the garage portion of the unit shall either face the side of the lot or the garage portion, measured at the garage door, shall be recessed a minimum of ten feet (10') behind the front of the house ("front" meaning the forward-most portion of the house covered by the roof).

In the remaining units in the Estate Residential and Low Density Residential designation, the garages:

- a. shall be recessed at least three (3) feet behind the front of the house; and
- b. shall have garage doors with raised panels and windows or comparable design features, stained or painted to complement the color and style of the house; and

- a roof feature that creates the look of an individual gable roof (or other design appropriate to the style of the house) over one of the two garage doors, and is architecturally distinct from the roof over the second garage door; or
- any architectural wall which generally connects the garage and the front of the house to enclose a courtyard and which extends at least five feet closer to the street than the face of the garage (any such wall, if within the front setback area shall not exceed three feet in height); or
- include separate single-car width garage doors.

1.11 RIGHT TO FARM

The Plan Area is subject to Placer County's Right to Farm Ordinance (§5.24.040). Consistent with County Code, each prospective buyer of property in unincorporated Placer County shall be informed by the seller or his/her authorized agent of the County's right-to-farm ordinance.

Within the Plan Area, the raising and/or keeping of animals is permitted on Rural Estate lots only, subject to the requirements of section §17.56.050 of the County Zoning Ordinance.

2. COMMERCIAL LAND USE

The Commercial Land Use section regulates the permitted and conditionally permitted uses and development standards for such uses within the Village Commercial Center. Permitted uses within the Village Commercial Center are similar to those permitted in Placer County's Commercial Planned Development (CPD) Zone District. Uses not specifically identified shall be subject to a determination by the Planning Director that the use is permitted, conditionally permitted or prohibited.

Prior to the issuance of any building permits within the Village Commercial site, the Placer County Design Site Review Committee (DSRC) shall review and approve all proposed development plans.

2.1 PERMITTED USES

The types of uses permitted within the Village Commercial site, subject to DSRC review and approval, include the following:

1. Retail commercial services such as apparel, antiques, sporting goods, jewelry, art (including gallery), novelties, books, music, drugs and sundries, electronics, computers, general merchandise, food, markets, interior decorating supplies, photo, pets, bicycle, cellular phones, gifts, and video and other similar retail stores.
2. Personal services such as a barber, salon, tailor, florist, laundry, dry cleaning, studios (dance, music, etc.), mailbox centers and mailing services, athletic club, gyms/exercise, daycare, bed and breakfast accommodations, veterinarian (including grooming).
3. Restaurant and food uses such as restaurant, cafe, coffee shop, butcher shop, delicatessen, meat market, candy store, grocery store, farmers market, and bakery.

4. Business professional services such as offices, research and development uses, technology services, medical offices, clinics, financial services (banks), insurance, legal, and travel agent; and support services such as messenger services, addressing services, locksmith.
5. Civic uses such as community center, post office, library, schools and training facilities.

2.2 USES PERMITTED WITH A MINOR USE PERMIT (MUP)

The following uses are permitted within the Village Commercial site with a minor use permit:

- Ambulance service
- Amusement arcade
- Bar or tavern when not ancillary to a restaurant
- Gardening, landscaping or hardware store with outside storage
- Hotel/motel
- Outdoor storage areas
- School, business college
- Service station (reverse orientation only)
- Daycare, childcare services
- Residential uses when part of commercial structure/employee housing

2.2.1 Limitation on Uses

A maximum of fifty percent (50%) of the total gross floor area in the Village Commercial site is permitted for uses other than retail and restaurant and food uses as listed in Section 2.1.

2.3 PROHIBITED USES

The following uses are prohibited within the Village Commercial site:

- Churches, temples and other worship facilities
- Fast food drive-thrus
- Adult entertainment
- Automobile repair, service and sales (except repairs incidental to the operation of a service station)
- Hospital
- Liquor store
- Psychiatric facility, sanitarium
- Tattoo Parlor
- Mini-storage

2.4 COMMERCIAL DEVELOPMENT STANDARDS

2.4.1 Building Setbacks

- Building setbacks from the street(s) shall be consistent with the Placer County Zoning Ordinance for the C-1(Neighborhood Commercial) zoning category.
- Building setbacks from an adjacent residential property line is forty feet (40') feet.

2.4.2 Parking Lot Setbacks

- Parking lot setbacks from the street(s) are 20 feet from the back of the curb or at the edge of the open space corridor easement; whichever is greater in distance.
- Parking lot setbacks from an adjacent residential property line is 15 feet.
- Parking lot setback areas not used for circulation shall be landscaped.

2.4.3 Maximum Building Height

- The maximum building height is forty feet (40') feet in height.

2.4.4 Parking

- Parking for the Village Commercial site is addressed in Section 5, Parking.

2.4.5 Trash Enclosures

- Standards for trash enclosures are included in Section 11, Outdoor Storage.

2.4.6 Mechanical Equipment

- The Placer County Zoning Ordinance regulations shall apply to the design and construction of all mechanical equipment.

2.4.7 Pedestrian, Open Space and Multi-Use Areas

- The Village Commercial site shall include an outdoor gathering area including some type of visual focus such as a landscape fountain or piece of art.
- The Village Commercial site outdoor gathering area shall include pedestrian features including benches, seating areas and a tot lot or children's play area.

2.4.8 Maximum Building Coverage and Square Footage

- Maximum building coverage for uses within the Village Commercial site is 25 percent.
- Maximum gross leasable square footage for the Village Commercial site is 101,000 square feet.

2.5 TIMING OF VILLAGE COMMERCIAL SITE

The Village Commercial site is designed to serve the retail, office and commercial needs of the residents of the Bickford Ranch community. Development of the Village Commercial site is viable when the population of the Plan Area will support the uses permitted in the Village Commercial site. Therefore, within the Plan Area, residential development is necessary to precede development of the Village Commercial site. Frontage improvements along Bickford Ranch Road and Lower Ranch Road will be made to the Village Commercial site as within the first phase of project improvements to encourage development of the site.

3. OPEN SPACE LAND USE

The Open Space Land Use section regulates the permitted and conditionally permitted open space uses and development standards in the Plan Area. The Plan Area has several open space designations that are presented in Table 3.1 along with the corresponding Placer County Zoning categories.

Table 3.1
Open Space Designations

Specific Plan Key	Open Space Designations	Placer County Zoning Categories
NOS	Natural Open Space	Open Space (O)
OSC	Open Space Corridors	Open Space (O)
P	Parks (Bickford and Tower)	Open Space (O)
GC	Golf Course and Practice Facility	Open Space (O)
GMF	Golf Maintenance Facility	Open Space (O)
BRCH HRCH	Clubhouse/Recreation Centers	Open Space (O)

3.1 PERMITTED USES

Permitted uses within the open space designations are similar to those permitted by Placer County Zoning Ordinance. Interpretation of a permitted use is at the discretion of the Planning Director provided the proposed use is consistent with the intent and purpose of the Specific Plan and compatible with the adjacent land uses.

Development Review Committee (DRC) review and approval is required for all uses and structures within the proposed open space designations. The golf course shall be required to undergo improvement plan review as required by the Placer County Department of Public Works to ensure that all provisions of the Specific Plan and EIR mitigation measures have been addressed.

Specific uses permitted within the Bickford Ranch Open Space Land Use designations are listed on Table 3.2.

**Table 3.2
Uses Permitted in Open Space**

Land Use Description	NOS	OSC	P	GC
Underground utility installations, and above ground utility installations for local service.	•	•	•	•
Accessory uses and structures customarily incidental to a permitted use			•	•
Public buildings and facilities	•		•	
Golf courses and related facilities (practice facility, maintenance facility, clubhouses, pro shop, grill/restaurant, etc.)				•
Parks			•	
Equestrian facilities	•		•	
Grazing	•			
Water storage (reservoirs/tanks)	•		•	•
Water wells	•	•	•	•
Project signage	•	•	•	•
Antennas (communication facilities)	•			
Trails	•	•	•	•
Drainage improvements	•	•	•	•
Walls	•	•	•	•
Fences	•	•	•	•
Emergency vehicle access and access roads	•	•	•	•
Access Roads	•	•	•	•
Landscape planting to buffer uses adjacent to open space	•	•	•	•
Contour grading (limited) to buffer and blend adjacent parcel grading activities	•	•	•	•

3.2 USES PERMITTED WITH A MINOR USE PERMIT

Uses permitted with a minor use permit within the Bickford Ranch Open Space Land Use designations are listed on Table 3.3.

Table 3.3
Uses Permitted in Open Space with a Minor Use Permit

	NOS	OS C	P	GC
Temporary uses (construction offices and facilities)	•			

3.3 OPEN SPACE STANDARDS

3.3.1 Building Setbacks

- Building setbacks from the street(s) shall be consistent with the Placer County's Zoning Ordinance.
- Building setbacks from an adjacent residential property line is thirty-five feet.

3.3.2 Parking Lot Setbacks

- Parking lot setbacks from the street(s) are 20 feet from the back of the curb.
- Parking lot setbacks from an adjacent residential property line is fifteen feet.

3.3.3 Maximum Building Height

- The maximum building height is thirty-five feet (35') in height.

3.3.4 Architectural/Landscape Design

A detailed discussion of open space architectural/landscape design is provided in the Bickford Ranch Design Guidelines.

3.3.5 Maximum Building Coverage and Square Footage

The maximum sizes (square footage) of structures within the golf course are as listed below:

Bickford Ranch Clubhouse	25,000 square feet
Heritage Ridge Clubhouse	20,000 square feet
Pro shop/grill/restaurant	15,000 square feet
Golf Maintenance Facility	51,000 square feet

4. CIRCULATION STANDARDS

On-site public and private streets have been designed exclusive for the Plan Area. The location and size of each street within the Plan Area is presented in this section.

4.1 GENERAL DESIGN CRITERIA

The following general street criteria will be used for designing streets and driveways within the Plan Area.

- Access to open space shall be in accordance with the Open Space Access Exhibit approved by Placer County Emergency Services and CDF.
- Minimum street width is 22 feet for two-way traffic, which serves no more than six units.
- The maximum grade for any street or roadway shall not exceed 15 percent.
- Minimum paved rural roadway turnaround radius is 42 feet plus a 3-foot shoulder
- Minimum driveway width is 10 feet for one-unit and 18 feet for two units.
- Minimum driveway width over 100 feet in length is 12 feet.
- The grade for a driveway shall not exceed 20 percent unless paved, otherwise, the grade may not exceed 15 percent.

- Driveways greater than 150 linear feet and less than 800 linear feet shall provide a turnout near the midpoint. Driveways greater than 800 linear feet shall have turnouts provided at no more than 400 feet apart.
- Single access street turnarounds shall not be farther than 800 linear feet apart. A turnaround must be located at the end of each single access street.
- Maximum length for single access streets without emergency vehicle access for parcels less than one acre is 800 linear feet.
- Maximum length for single access streets without emergency vehicle access for parcels greater than one acre but less than 4.99 acres is 1,320 linear feet and for parcels greater than five acres but less than 19.99 acres is up to 2,640 linear feet.
- Curbs and/or sidewalks may be either AC or PCC (if County-maintained, they shall be PCC).
- All roadways and intersections shall be designed to meet minimum site distance requirements as identified in the Placer County Land Development Manual and the Caltrans Traffic Manual.

4.2 Road Sections

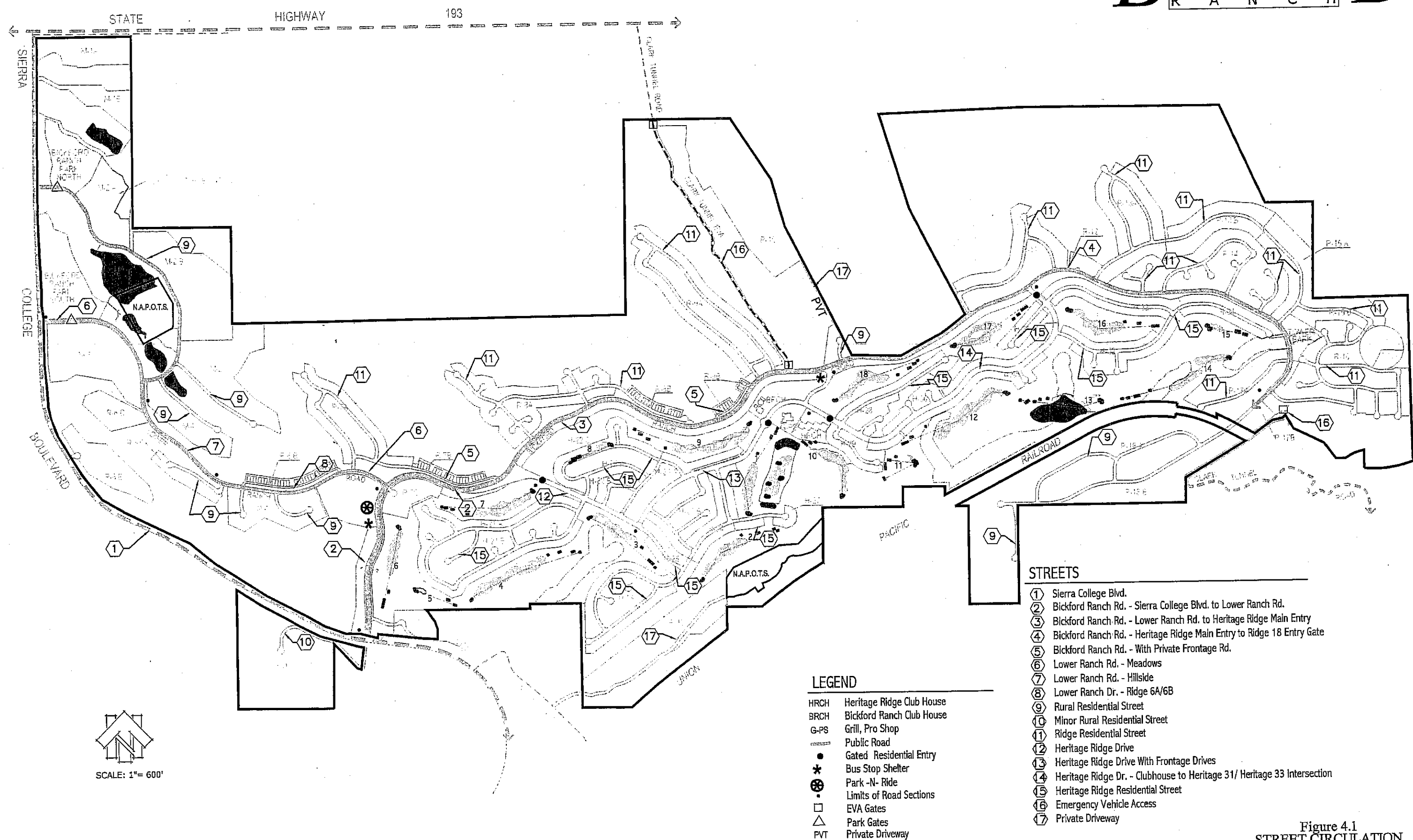
The following subsections describe the streets in the Plan Area including typical cross-sections and design details. Figure 4.1 presents the location of these streets.

4.2.1 Sierra College Boulevard

Sierra College Boulevard is a two-lane roadway with a Class II bike lane on each side. The existing highway cross-section adjacent to Bickford Ranch is presented in Figure 4.2.

BICKFORD

R A N C H



SCALE: 1"= 600'

LEGEND

- HRCH Heritage Ridge Club House
- BRCH Bickford Ranch Club House
- G-PS Grill, Pro Shop
- Public Road
- Gated Residential Entry
- Bus Stop Shelter
- Park -N- Ride
- Limits of Road Sections
- EVA Gates
- Park Gates
- PVT Private Driveway

STREETS

- ① Sierra College Blvd.
- ② Bickford Ranch Rd. - Sierra College Blvd. to Lower Ranch Rd.
- ③ Bickford Ranch Rd. - Lower Ranch Rd. to Heritage Ridge Main Entry
- ④ Bickford Ranch Rd. - Heritage Ridge Main Entry to Ridge 18 Entry Gate
- ⑤ Bickford Ranch Rd. - With Private Frontage Rd.
- ⑥ Lower Ranch Rd. - Meadows
- ⑦ Lower Ranch Rd. - Hillside
- ⑧ Lower Ranch Dr. - Ridge 6A/6B
- ⑨ Rural Residential Street
- ⑩ Minor Rural Residential Street
- ⑪ Ridge Residential Street
- ⑫ Heritage Ridge Drive
- ⑬ Heritage Ridge Drive With Frontage Drives
- ⑭ Heritage Ridge Dr. - Clubhouse to Heritage 31/ Heritage 33 Intersection
- ⑮ Heritage Ridge Residential Street
- ⑯ Emergency Vehicle Access
- ⑰ Private Driveway

Figure 4.1
STREET CIRCULATION

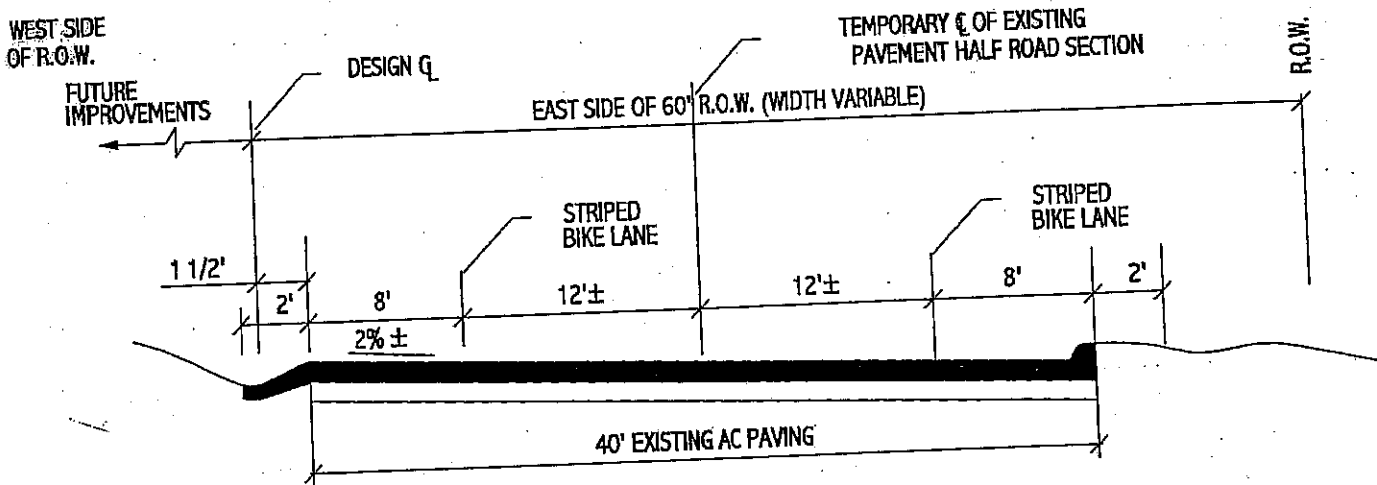


FIGURE 4.2
SIERRA COLLEGE BOULEVARD

The project proposes limited roadway improvements to Sierra College Boulevard at the new intersections at Bickford Ranch Road and Lower Ranch Road and the school/park access road. The addition of one lane along the west side of Sierra College Boulevard is proposed. The design of Bickford Ranch Road and Sierra College Boulevard intersection is to include a traffic signal as well as left and right turn lanes. Lower Ranch Road and Sierra College Boulevard intersection is to include left and right turn lanes without a signal. If the school site is utilized, a traffic signal will be installed at the Sierra College Boulevard/School Access Road intersection.

Turn restrictions may be imposed on connections to serve lots directly from Sierra College Boulevard, if deemed necessary for maintaining the traffic safety and general circulation flow along Sierra College Boulevard.

4.2.2 STATE HIGHWAY 193

California Department of Transportation has acquired rights-of-way from Bickford Ranch and completed limited improvements to the vertical profile of State Highway 193. The project proposes no additional improvements to State Highway 193, except for installation of a traffic signal.

4.2.3 BICKFORD RANCH ROAD

Bickford Ranch Road serves as the main access from Sierra College Boulevard into the Plan Area. This street will serve as a major street within and through the Plan Area. Each segment of Bickford Ranch Road is described in the following subsections and cross sections.

4.2.3.1 Bickford Ranch Road (Sierra College Blvd. to Lower Ranch Road)

Figure 4.3a presents this portion of Bickford Ranch Road from Sierra College Boulevard to the intersection of Lower Ranch Road at the Village Commercial. This portion of Bickford Ranch Road will be constructed as a 4-lane divided private roadway. Along both sides of the roadway are open space corridors, which vary in width.

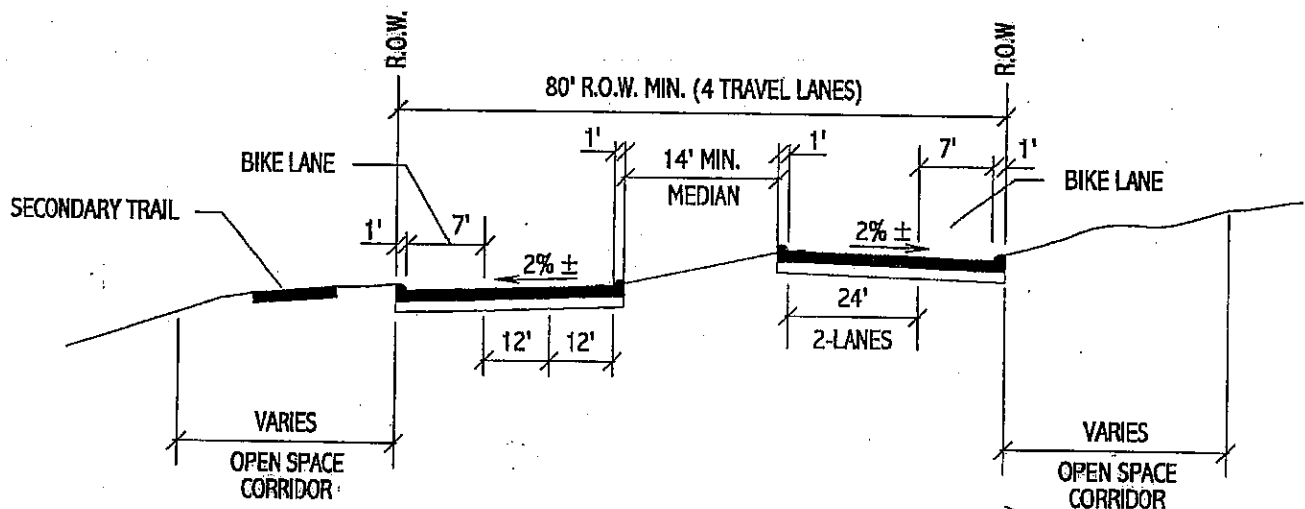


FIGURE 4.3A
BICKFORD RANCH ROAD
SIERRA COLLEGE BLVD. TO LOWER RANCH ROAD

Design Details:

- Right-of-way width may vary depending on natural terrain or landscape features that would require widening, narrowing, or changes in grade.
- Design speed shall be 35 miles per hour.

- Four lanes with median from Sierra College Boulevard to the Lower Ranch Road intersection.
- A secondary type trail will be provided to the west of the roadway within the open space corridor.
- At intersections, medians would be reduced in width for turn lanes.
- No single-family homes will front this portion of Bickford Ranch Road.
- Parking will not be permitted on Bickford Ranch Road.
- Bike lanes will be provided along both sides of the roadway.
- The structural section for Bickford Ranch Road shall be designed using a minimum traffic index of 7.5.

4.2.3.2 Bickford Ranch Road (Lower Ranch Road to Heritage Ridge Main Entry)

Figure 4.3B presents this portion of Bickford Ranch Road, as a divided roadway with a median between Lower Ranch Road and the main entry into the Heritage Ridge Community.

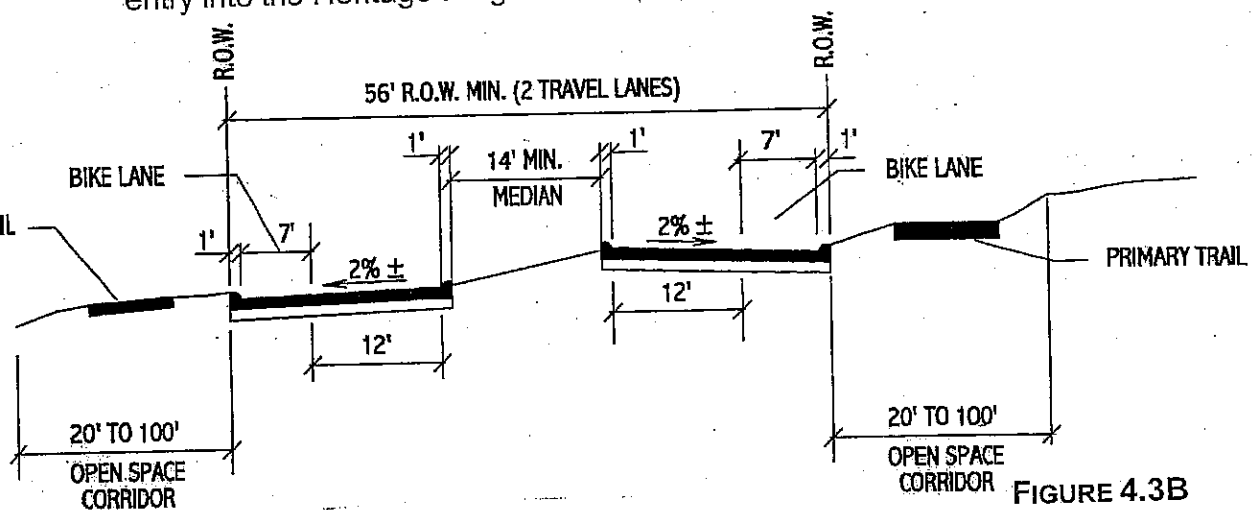


FIGURE 4.3B
BICKFORD RANCH ROAD
LOWER RANCH ROAD TO HERITAGE RIDGE MAIN ENTRY

Refer to Figure 4.3D for frontage road street section when homes front onto Bickford Ranch Road.

This portion of Bickford Ranch Road will be constructed with open space corridors along each side of the roadway, which vary in width.

Design Details:

- Right-of-way width may vary depending on natural terrain or landscaping features that would require widening, narrowing, or changes in grade.
- Design speed shall be 35 miles per hour.
- Two lanes with median from Lower Ranch Road to the main entry into Heritage Ridge Community.
- Primary and secondary type trails will be provided along this portion of the roadway.
- At intersections, medians would be reduced in width for turn lanes, as required.
- Single family homes will not have direct frontage on Bickford Ranch Road and there will be no individual residential driveway connections to Bickford Ranch Road.
- Parking will not be permitted on Bickford Ranch Road.
- Bike lanes will be provided along both sides of the travel lanes.
- The structural section for Bickford Ranch Road shall be designed using a minimum traffic index of 7.5.

4.2.3.3 Bickford Ranch Road (Heritage Ridge Main Entry to Ridge 18 Entry)

This portion of Bickford Ranch Road has two travel lanes without a median and generally follows the existing Clark Tunnel Road alignment to Ridge 18 Entry. The right-of-way is 40 feet with a two-lane roadway with bike lanes on the outside edges.

Along the north and south sides are open space corridors which vary in width, except adjacent to APN's 31-101-0021 & 0020 where there will be a two-foot no vehicle access strip. Figure 4.3C presents the street's cross-section of this segment of Bickford Ranch Road.

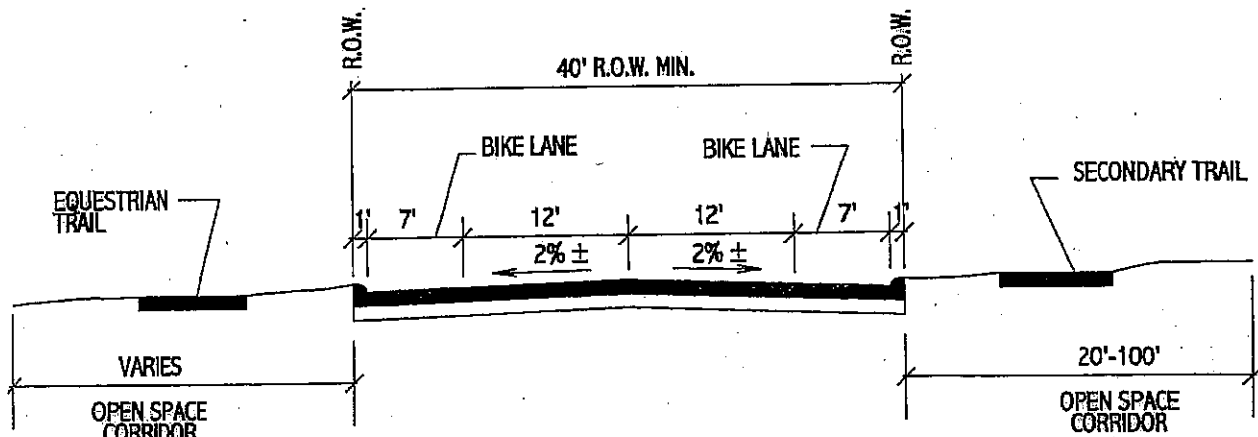


FIGURE 4.3C
BICKFORD RANCH ROAD
HERITAGE RIDGE MAIN ENTRY TO RIDGE 18

Design Details:

- Right-of-way width may vary depending on natural terrain or landscape features that would require widening, narrowing, or changes in grade.
- Design speed shall be 35 miles per hour.
- Trails may meander within the open space corridors.
- Parking will not be permitted on Bickford Ranch Road.
- Bike lanes will be provided along the outside edges of the roadway.
- The structural section for Bickford Ranch Road shall be designed using a minimum traffic index of 7.5.

4.2.3.4 Bickford Ranch Road with Frontage Road

Bickford Ranch Road has another street section when it is adjacent to front on lots with a private frontage road which may be either two- or one-way. Between Bickford Ranch Road and the Frontage Road is a 20-foot wide open space corridor with a secondary trail.

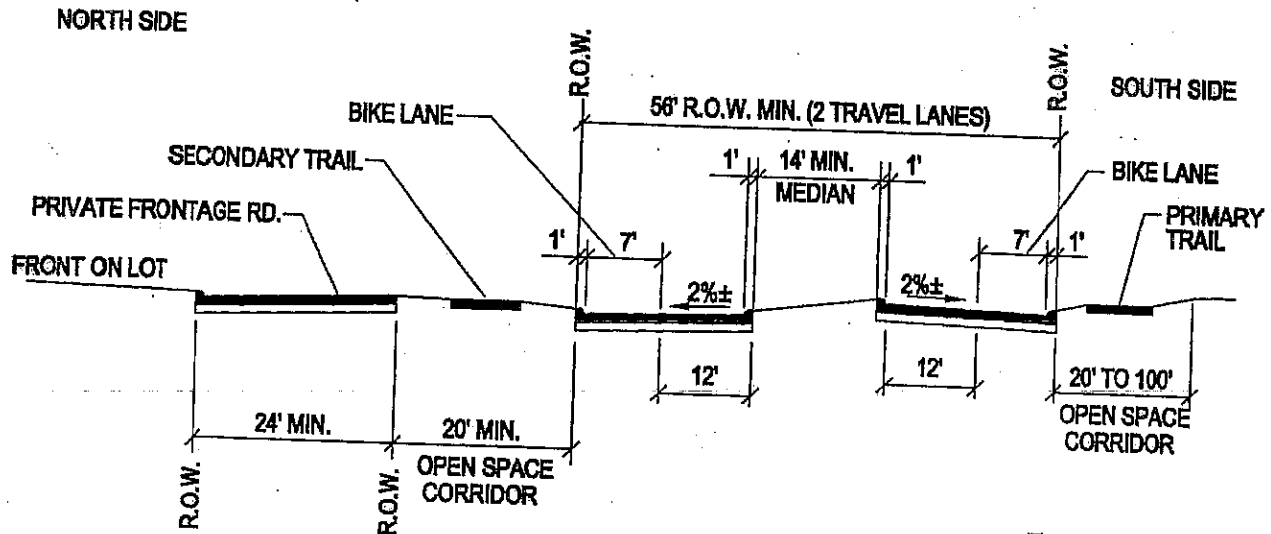


FIGURE 4.3D
BICKFORD RANCH ROAD
WITH FRONTAGE ROAD

Design Details:

- The frontage road width may vary depending on natural terrain that would require widening, narrowing, and/or changes in grade.
- Design speed shall be 15 miles per hour for the frontage road.
- Secondary trail may meander within the Open Space Corridor.
- Single family homes are to have individual residential driveway connections to the Frontage Road.
- On-street parking is not permitted on the frontage road (if two way road) or on Bickford Ranch Road.
- Parking permitted on one side of one-way road.

- The structural section for Bickford Ranch Road shall be designed using a minimum traffic index of 7.5.
- The structural section for the frontage road shall be designed using a minimum traffic index of 5.5.

4.2.4 LOWER RANCH ROAD

4.2.4.1 Lower Ranch Road within the Meadows Community

Lower Ranch Road will be a secondary access to the Plan Area. Lower Ranch Road will be constructed as a 2-lane rural primary roadway within a minimum 40-foot right-of-way. This street is a two-lane roadway with bike lanes along the outside edges of the roadway. The design includes a secondary trail along one side. This street section provides access to the Meadows community. Figure 4.4A presents the cross section of Lower Ranch Road.

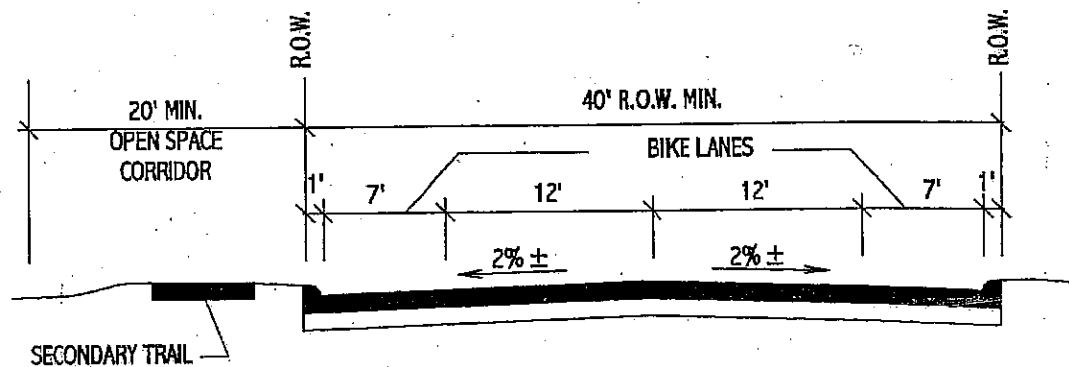


FIGURE 4.4A
LOWER RANCH ROAD WITHIN THE MEADOWS COMMUNITY

Design Details:

- Design speed shall be 30 miles per hour.
- Secondary trail may meander along one side of the street.
- Bike lanes will be provided along both sides of the roadway.
- Parking will not be permitted within the right of way.

- The structural section for Lower Ranch Road shall be designed using a minimum traffic index of 7.5.

4.2.4.2 Lower Ranch Road Adjacent to Hillside

This section of Lower Ranch Road is located adjacent to the side hill along Ridge 6 leading into the Meadows Community, and will be constructed within a minimum 50-foot right-of-way. This street is a two-lane roadway with bike lanes along the outside edges of the roadway. The design includes a secondary trail along one side of the street. Figure 4.4B presents the cross section of Lower Ranch Road.

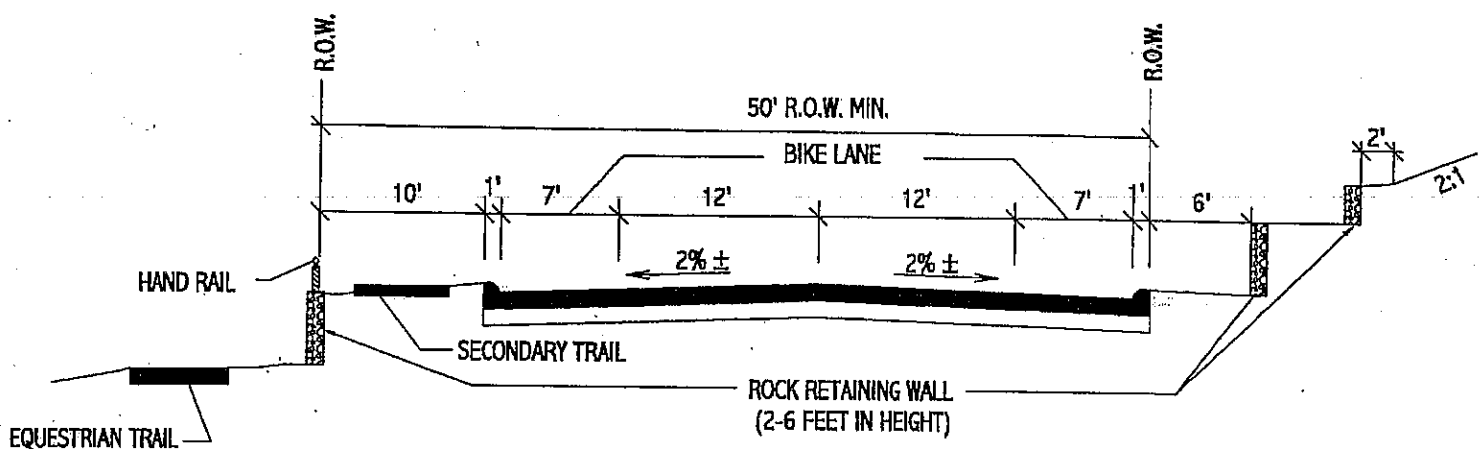


FIGURE 4.4B
LOWER RANCH ROAD ADJACENT TO HILLSIDE

Design Details:

- Design speed shall be 30 miles per hour.
- A secondary trail is to be located in the right-of-way area.
- An equestrian trail may be located along one side of the roadway in the natural open space area.
- Parking will not be permitted within the right of way.
- Bike lanes will be provided along the outside edges of the roadways.

- The structural section for Lower Ranch Road shall be designed using a minimum traffic index of 7.5.

4.2.4.3 Lower Ranch Road Along Ridge 6A&B

This portion of Lower Ranch Road has a minimum 50-foot right-of-way and is located along Ridge 6A&B, which connects the Meadows Community to the Village Center. The typical section is shown in Figure 4.10. The adjacent frontage road may be either two way or one way.

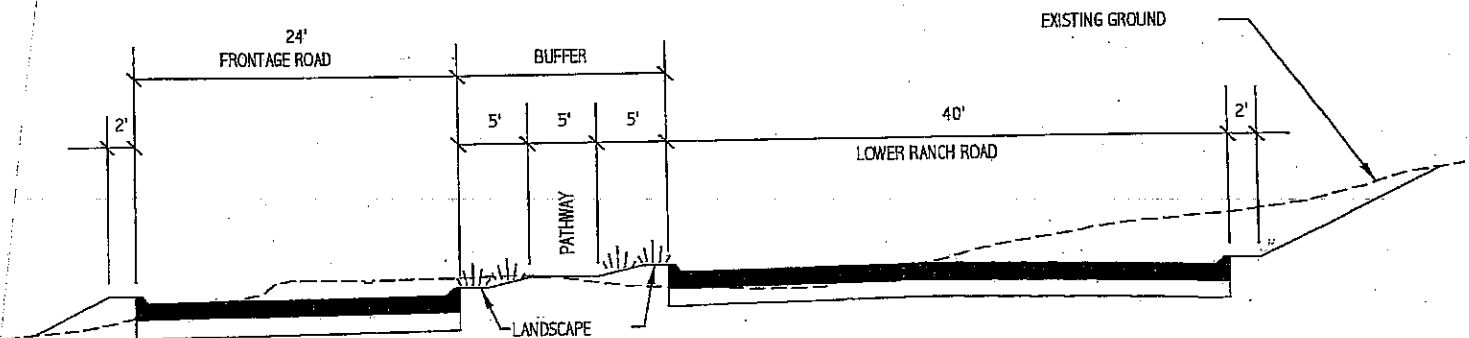


FIGURE 4.4C
LOWER RANCH ROAD ALONG RIDGE 6A&B

Design Details:

- Design speed shall be 30 miles per hour.
- Bike lanes will be provided along both sides of the roadway.
- A secondary trail will be located on one side of the street within the right-of-way.
- Parking will not be permitted within the right-of-way of Lower Ranch Road or the frontage road unless the frontage road is a one-way road.
- Retaining walls may be constructed on either side of the roadway, similar to Figure 4.4B.

- The structural section for Lower Ranch Road shall be designed using a minimum traffic index of 7.5.

4.2.5 RURAL RESIDENTIAL STREETS

4.2.5.1 Rural Residential Street

Rural residential streets are used primarily in the Meadows Community and in Ridges 6, 10, 11 & 18. These streets have a minimum 40-foot right-of-way with a two-lane roadway with or without bike lanes along the outside edges of the roadway. Figure 4.5a presents a typical rural residential street cross-section.

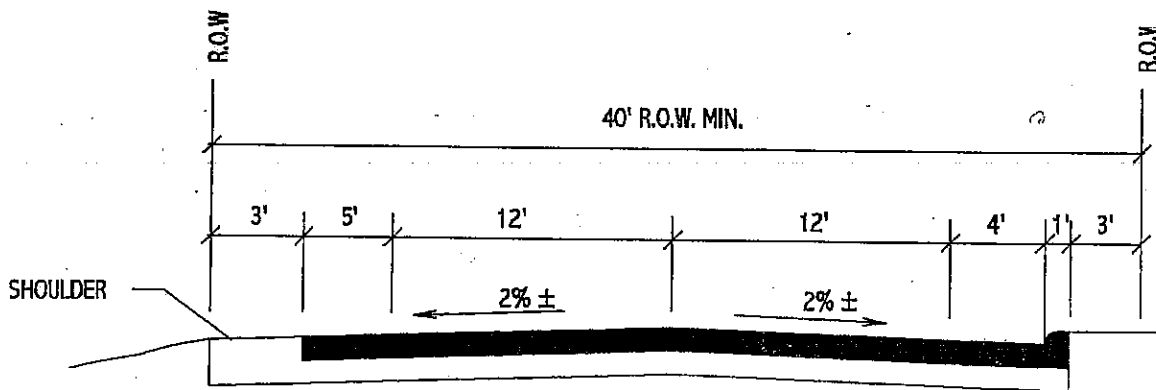


FIGURE 4.5A
RURAL RESIDENTIAL STREET

Design Details

- Rural residential streets may be gated. (See approved gate locations in Specific Plan Figure 8.1 (page 8-2) and Section 8.10 (page 8-23).
- Design speed shall be 20 miles per hour.
- To be designed and maintained as a private street.
- Parking permitted.
- Right of way may be expanded to allow inclusion of trails.

- The structural section for all Rural Residential Streets shall be designed using a minimum traffic index of 5.5.

4.2.5.2 Minor Rural Residential Streets

Minor Rural Residential Streets are used primarily in the more rural large lot Ridge Communities serving six or fewer residential units. These streets have a minimum 40-foot right of way with a two-lane roadway, as shown on Figure 4.5B.

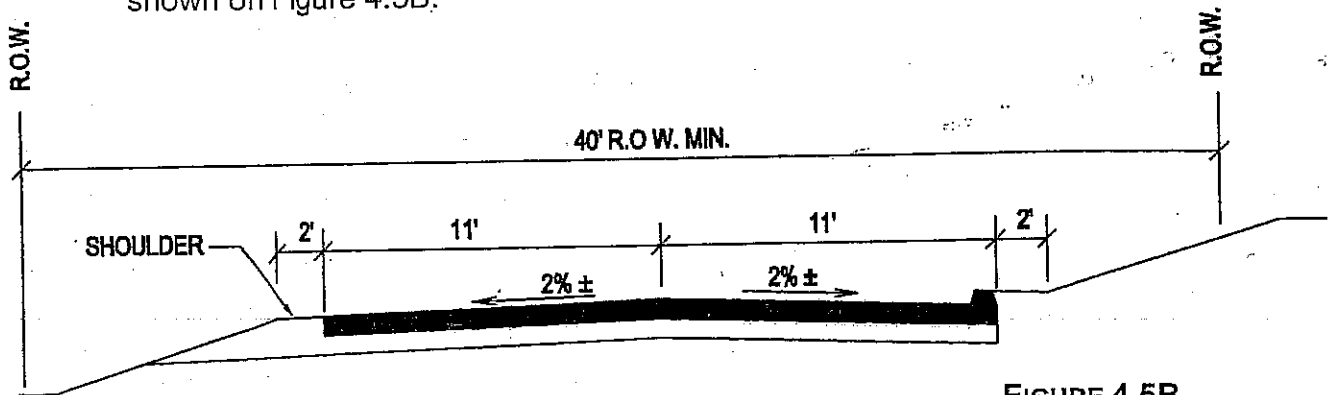


FIGURE 4.5B
MINOR RURAL RESIDENTIAL STREET

Design Details:

- Design speed shall be 10 miles per hour.
- To be designed and maintained as a private street.
- No parking is permitted.
- Turn around to be provided at end for single access roads.
- The structural section for all Minor Rural Residential Streets shall be designed using a minimum traffic index of 5.5.

4.2.5.3 Private Driveways

Private driveways are used primarily to serve four or fewer residential units. A typical private driveway is shown in Figure 4.5C.

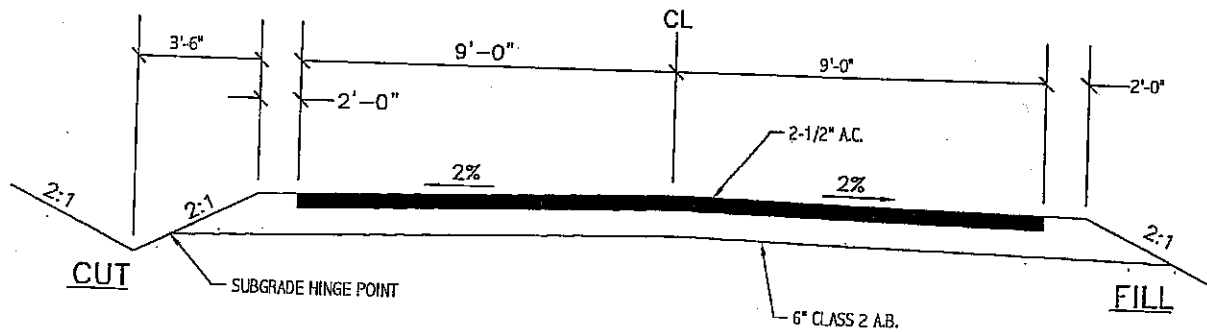


FIGURE 4.5C
PRIVATE DRIVEWAY

Design Details:

- Design speed shall be 10 miles per hour.
- Designed and maintained as a private street.
- No parking is permitted.
- Turn around to be provided.
- The structural section for all Private Driveways shall be designed using a minimum traffic index of 5.5.

4.2.6 RIDGE RESIDENTIAL STREET

A minor residential street consisting of a minimum 40-foot right-of-way with a two-lane roadway and a 4-foot walkway on one side. This street section is utilized within the Ridge communities. Figure 4.6A presents a typical Ridge Residential street cross-section for Type A lots (shown in Figure 8.3). For Type B lots, Figure 4.6B shall apply.

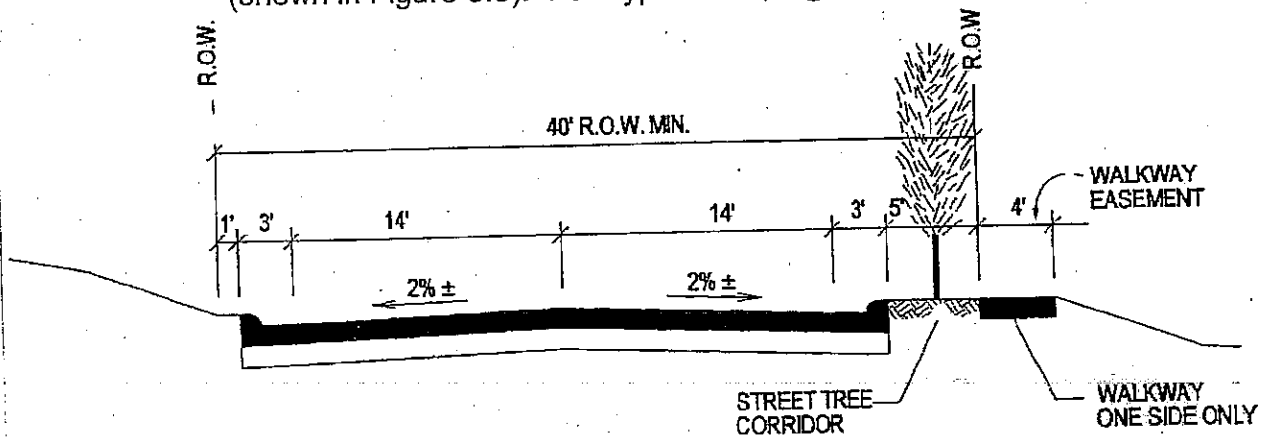


FIGURE 4.6A
RIDGE RESIDENTIAL STREET
TYPE A LOTS

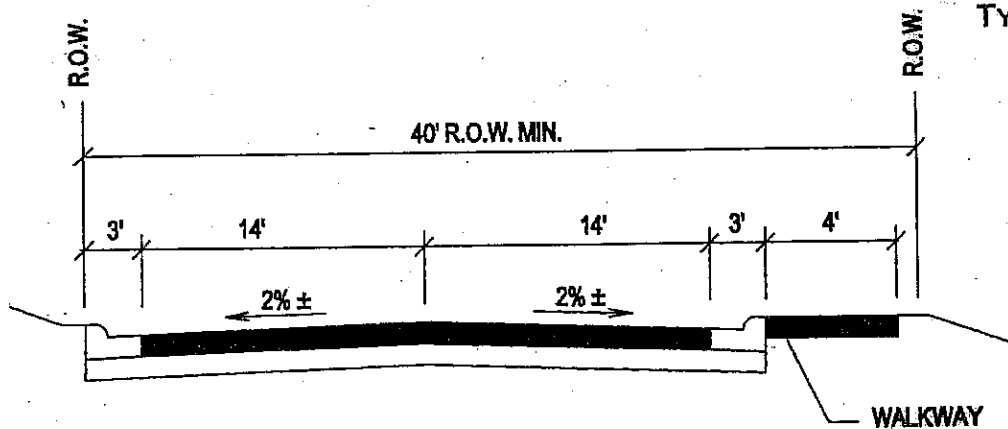


FIGURE 4.6B
RIDGE RESIDENTIAL STREET
TYPE B LOTS

Design Details

- Design speed shall be 15 miles per hour.
- Parking permitted only on one side.

- To be designed and maintained as a private street.
- Ridge residential streets can be gated.
- The structural section for all Ridge Residential Streets shall be designed using a minimum traffic index of 5.5.

4.2.7 HERITAGE RIDGE DRIVE

4.2.7.1 Heritage Ridge Drive

Heritage Ridge Drive is the major street within the Heritage Ridge community and shall be gated at four connections to Bickford Ranch Road. This street has a minimum 60-foot right-of-way with a two-lane roadway and two 8-foot golf cart lanes along the outside edges with an 8-foot planter strip and a 6-foot walkway on one side. This street will be used primarily by Heritage Ridge residents and will be maintained as a private street. Figure 4.7A presents the typical Heritage Ridge Drive cross-section.

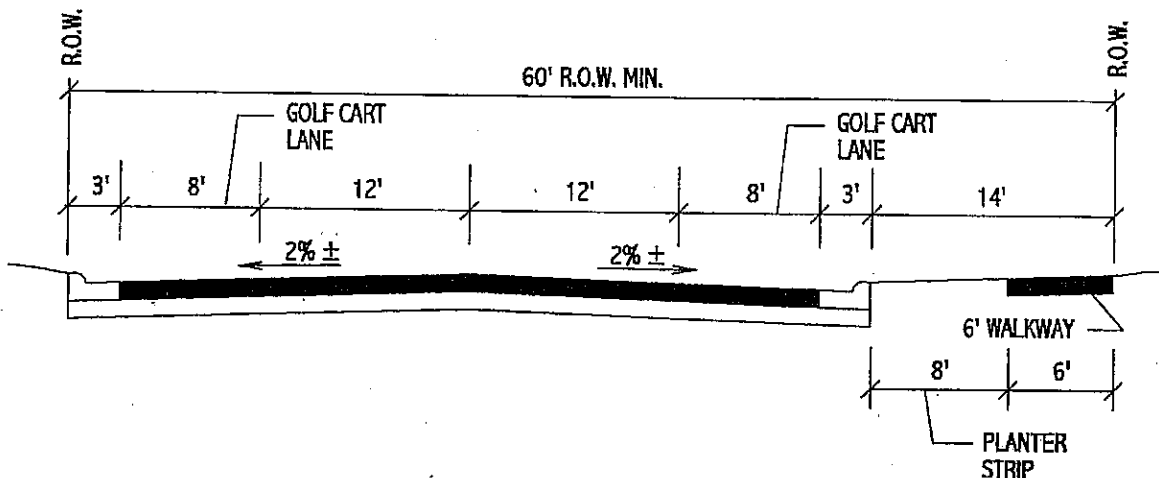


FIGURE 4.7A
HERITAGE RIDGE DRIVE

Design Details

- To be designed and maintained as a private street.
- Design speed shall be 25 miles per hour.
- Cart lanes will not be permitted where speed limits exceed thirty miles per hour.

4.3.2 Clark Tunnel Road South

The existing portion of Clark Tunnel Road from the Bickford Ranch property boundary south is closed. The roadway is closed to through traffic into Bickford Ranch at the property line. The connection between the Plan Area and Clark Tunnel Road south, would be used only for a multi-purpose trail, emergency vehicle access and utility maintenance access. Vehicular access to the public shall not be permitted.

4.4 TYPICAL CUL-DE-SAC SECTION

The typical cul-de-sac street section has a minimum clear turning radius of 45 feet. The walkway along the street shall end at the beginning of the radius for the cul-de-sac and will not have a walkway around the cul-de-sac. The turnaround radius is designed to meet the minimum requirements of applicable Fire Department Standards. Figure 4.9 presents a typical cul-de-sac section.

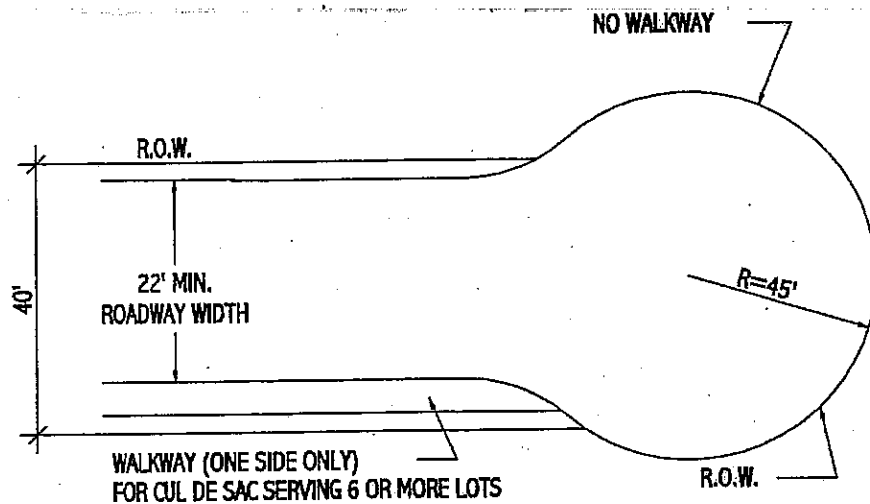


FIGURE 4.9
TYPICAL CUL-DE-SAC SECTION

Design Details:

- For less than 50 units an 11-foot travel lane may be used.
- Design speed shall be 15 miles per hour.

4.5 STREETS WITH ENTRY GATES

Heritage Ridge entry gates will be designed as a divided street with a median leading up to the gate where possible. Turnarounds at gates will be designed with a minimum 45-foot clear turning radius. Figure 4.1 (Street Circulation) presents the general location of the four gates to the Heritage Ridge community. Figure 4.10 includes a design detail of typical gated entries.

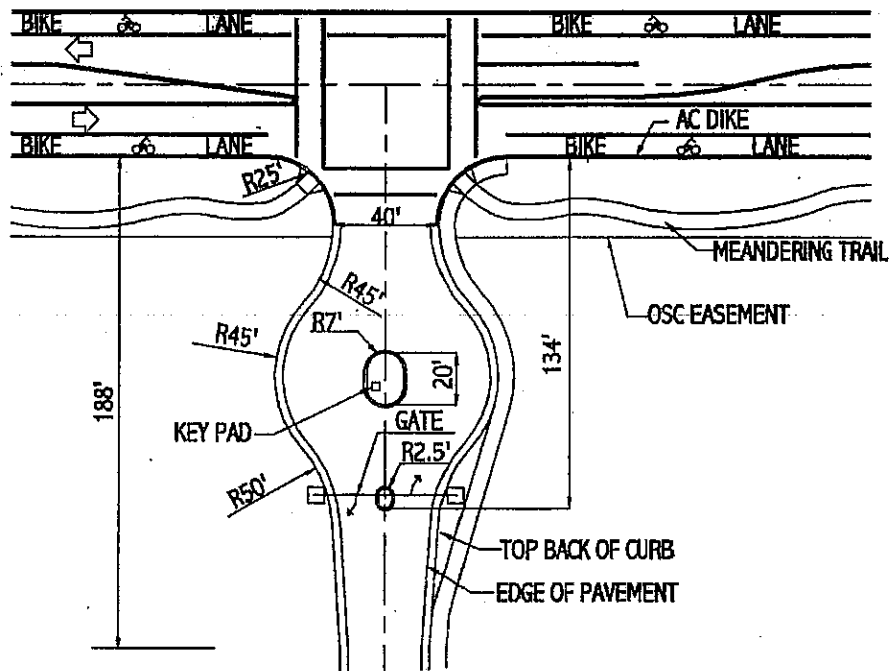


FIGURE 4.10
TYPICAL ENTRY GATE

4.6 GOLF CART CROSSING

A golf cart crossing is planned at Bickford Ranch Road adjacent to the commercial area on Lower Ranch Road. A detail of the crossing is presented in Figure 4.11. Final geometrics and signing of the crossing will be reviewed by Placer County Public Works. The intersection of Lower Ranch Road and Bickford Ranch Road may be signalized in the future depending on traffic warrants.

NOTE:

1. GOLF CART CROSSING AHEAD SYMBOL SIGN
2. GOLF CART CROSSING SYMBOL SIGN
3. GOLF CART STOP SIGN
4. PAINTED VEHICLE STOP BAR
5. VEHICLE STOP SIGN

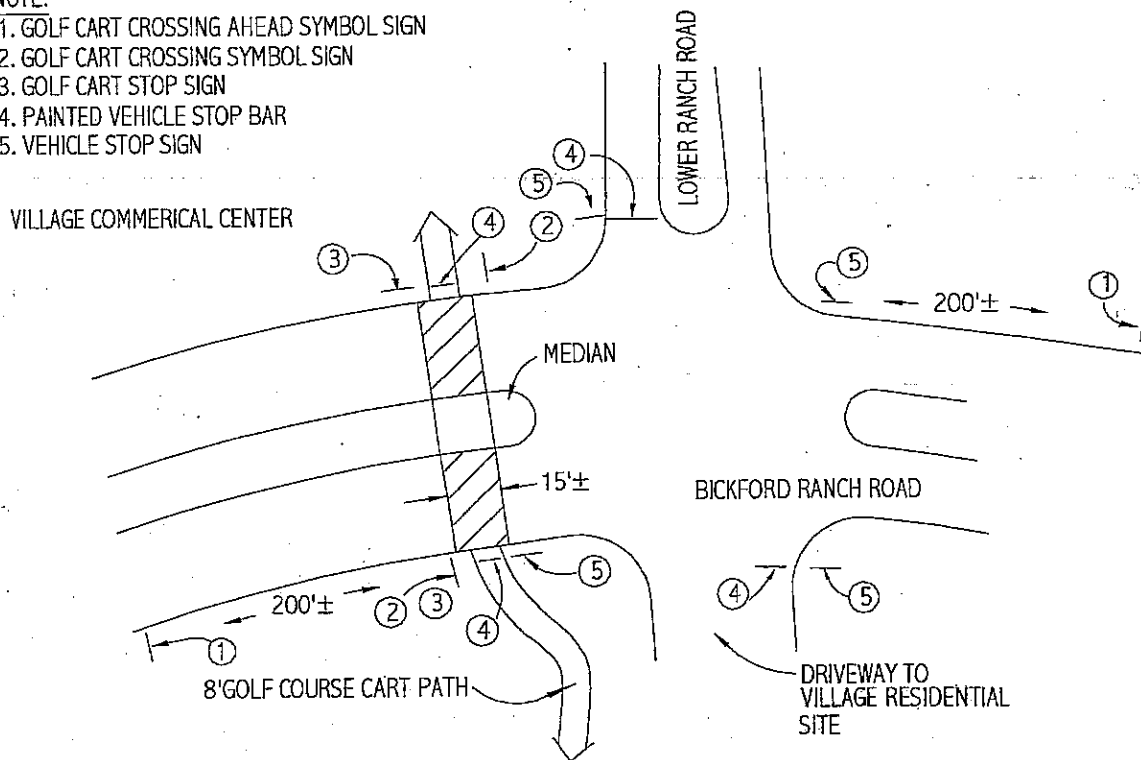


FIGURE 4.11
VILLAGE CENTER GOLF CART CROSSING

4.7 TRAILS

The following subsection describes the trail standards in the Plan Area including cross-sections and design details. Figure 4.12B presents the locations of these trails. The trail locations are depicted on roadway cross sections in Section 4.2.

4.7.1 Open Space Corridor Trails

Trails within open space corridors shall be constructed to three different design standards; "primary", "secondary" and "minor".

The primary design shall consist of a five (5) foot wide paved pedestrian/bike path and a three (3) foot wide decomposed granite jogging path set side-by-side, total eight (8) feet wide. This dual trail configuration allows users to utilize either the all-weather surface or the decomposed granite portion. The secondary design shall consist of four (4) foot wide decomposed granite hiking/jogging path. The minor design shall consist of a 6-foot wide paved pedestrian/jogging path.

Figure 4.12A illustrates cross-sections of these trail designs.

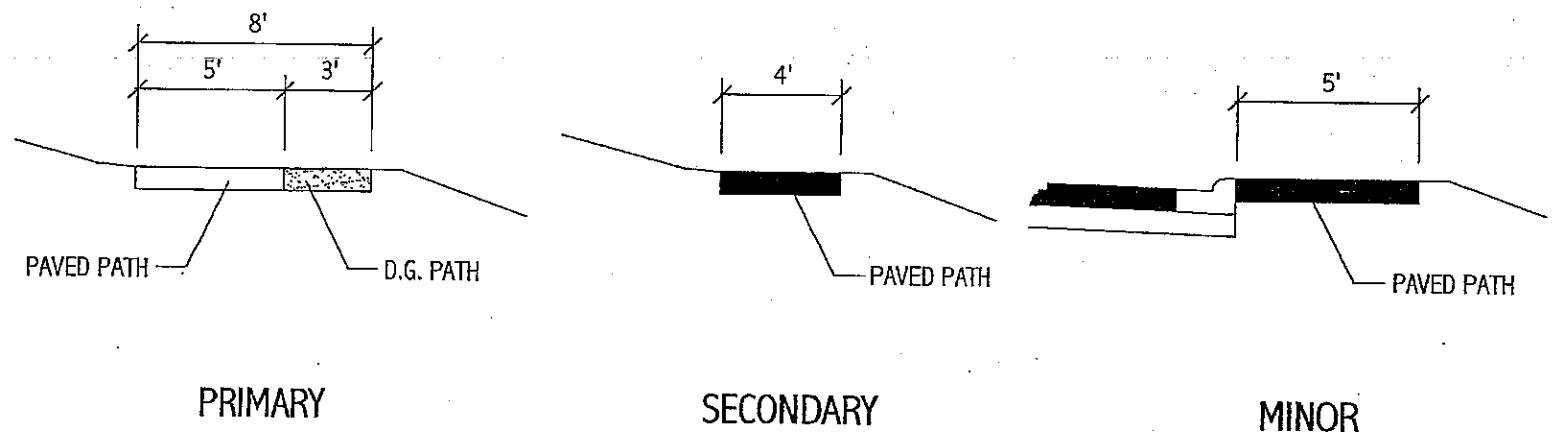


FIGURE 4.12A
TRAIL DESIGN CROSS-SECTIONS

4.7.2 Multi-Purpose Trail

The portion of Clark Tunnel Road north of Bickford Ranch Road will be utilized as a multi-purpose trail, which would allow equestrian/pedestrian/bike access to State Route 193.

An open space corridor adjacent to Clark Tunnel Road to the South will be used as a multi-purpose trail easement, which will connect the Penryn community to the Bickford Ranch trail system.

BICKFORD RANCH

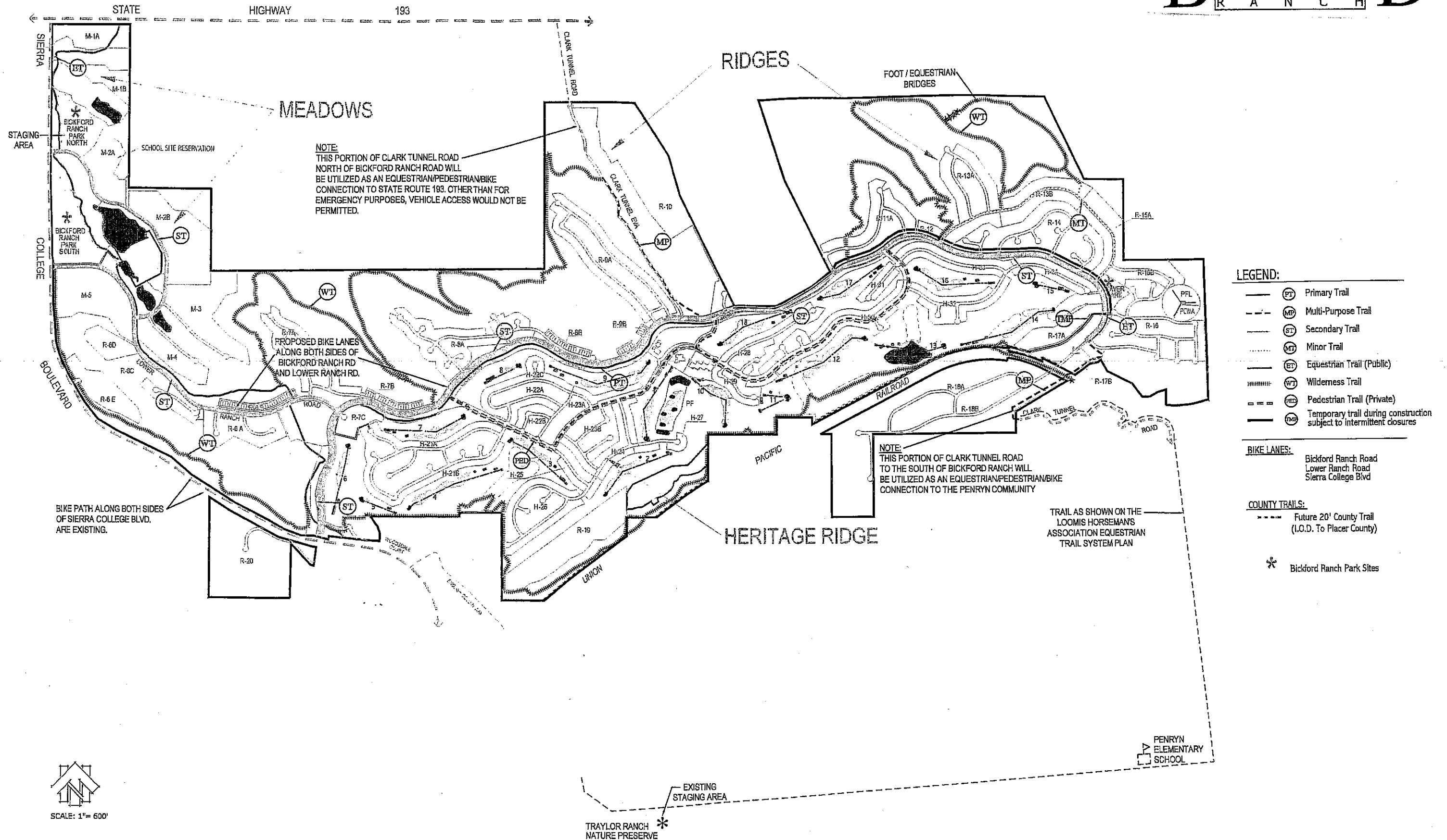


Figure 8.12
TRAIL SYSTEM

4.7.3 Equestrian Trails

This type of trail shall be limited to equestrian uses and should average 3 to 6 feet wide, and 10-feet wide for passing alignments. The alignment of trails shall consider topography, native vegetation, wetland avoidance and adjacent land uses.

4.7.4 Wilderness Trails

Wilderness trails are natural surface cleared of low branches and snags and may vary in width depending on the location of the trail. Alignments of trails shall consider topography, native vegetation, wetland and adjacent land uses. The trails shall be designed to avoid wetlands through trail alignment or by constructing a bridge crossing that spans the width of the wetland.

5. PARKING STANDARDS

Off-street parking shall be designed and constructed consistent with Placer County's Zoning Ordinance parking regulations. General standards for off-street parking in the Plan Area are as follows.

5.1 SHARED PARKING

1. The Planning Director may approve plans for shared parking in the Village Commercial site and in other appropriate areas where spaces to be shared are within 350 feet of development, have different peak usage periods, and/or spaces to be shared are available on a continuous basis. Shared parking may be utilized for such uses, thereby resulting in an overall parking reduction. Shared parking may be utilized for two or more land uses or for a multi-tenant building(s).
2. Where golf cart access and parking spaces are provided, the number of required vehicular parking spaces may be reduced up to a maximum of 20% or 25 spaces, whichever is less, provided an equivalent number of golf cart spaces are provided.

5.2 PARKING LOT DESIGN

1. Parking requirements, parking stalls, aisles, and driveway geometrics shall be designed in compliance with Placer County Standards except where golf cart access and parking spaces are provided. In such cases, refer to Section 5.1.2.
2. Driveway access to the Village Commercial site shall be designed to avoid conflict with adjacent streets and intersections.
3. The Village Commercial driveways shall be designed to accommodate delivery trucks and public buses.

4. Common access driveways or shared driveways shall be utilized where practical to avoid curb cuts and reduce conflict.

5.3 PARKING STANDARDS

Off-street parking spaces shall be provided for all land uses within the Plan Area sufficient in number to accommodate the demands of the land use at a given location. The following are minimum parking requirements for land uses within the Plan Area.

5.3.1. Residential Land Uses

Not less than two (2) covered parking spaces shall be provided for each dwelling unit within the buildable portion of the lot in the Plan Area, with the exception of units in the Village Residential sites. Parking requirements for the Village Residential site are listed below.

Required parking spaces may be provided within a garage, under a carport, on an open surface, or any combination thereof. Each parking space shall be at least nine (9) feet in width and nineteen (19) feet in length.

5.3.2 Village Residential Uses

A minimum of 1.25 parking spaces shall be provided for each dwelling unit within the Village Residential Sites. Each parking space shall be at least nine (9) feet in width and nineteen (19) feet in length.

5.3.3 Village Commercial Site

Uses within the Village Commercial Site, which are predominantly retail, business-professional and neighborhood-serving uses which utilize a common parking area through mutual parking agreements, parking shall be provided at a minimum ratio of four and one-half (4.5) spaces for every one thousand (1,000) square feet of gross floor area.

Each parking space shall be at least nine (9) feet in width and nineteen (19) feet in length.

6. NOISE

The Noise Element of the County's General Plan establishes land use compatibility criteria of a 60 dBA Ldn sound level threshold for outdoor activity areas and 45 dBA Ldn for interior areas of new residential developments.

A detailed noise evaluation was conducted during the project's environmental review process. This evaluation concluded that in most locations, the residential outdoor activity sound level of 60 dBA Ldn would be achieved. This same noise evaluation concluded that noise contributions from non-transportation noise sources, including community parks and recreation areas, would comply with the allowable noise levels of 50 Ldn at residential receivers.

For areas along Bickford Ranch Road and Lower Ranch Road, the noise evaluation identified mitigation measures to reduce noise levels at residential outdoor activity areas to at or below 60 dBA Ldn, which have been incorporated below as development standards.

The only locations where the acoustical analysis determined that mitigation to levels below 60 dBA Ldn could not be achieved were at certain lots bordering the Union Pacific Railroad tracks. In this area, building setbacks have been incorporated as development standards in locations where noise barriers are impractical due to steep and complicated topography that would limit noise barrier effectiveness.

6.1 NOISE DEVELOPMENT STANDARDS

The following development standards shall apply to the residential areas in the Plan Area:

- 6.1.1 A six-foot sound attenuation wall shall be required along roadways where residential areas fall within the 60 dBA Ldn contour. This fence shall be constructed of concrete block, masonry or other materials having a minimum density of 4.0 pounds per square foot. The locations of noise attenuation walls are shown on Figure 13.1.
- 6.1.2 In the vicinity of the Union Pacific Railroad Line, the minimum building pad setback shall be 210 feet from the track centerline. Residences may be located within the 65 dBA Ldn range provided a subsequent acoustical analysis is conducted and sound attenuation measures recommended by an acoustical engineer and approved by the County are incorporated into the project design.
- 6.1.3 Residential sites along Lower Ranch Road shall be set back at least 70 feet from the roadway centerline unless a community fence is incorporated into the design. Alternatively, the developer and/or builder may conduct a subsequent acoustical analysis and incorporate alternative sound attenuation measures recommended by an acoustical engineer and approved by the County provided these alternative measures achieve the 65 dBA Ldn or below level.
- 6.1.4 In areas along Bickford Ranch Road where community fences are not proposed, residential building setbacks shall be sufficient to achieve the 60 dBA Ldn sound level. Alternatively, the developer and/or builder may conduct a subsequent acoustical analysis and incorporate alternative sound attenuation measures recommended by an acoustical engineer and approved by the County provided these alternative measures achieve the 65 dBA Ldn or below level.
- 6.1.5 In the State Department of Real Estate (DRE) public report, inform prospective buyers of potential rail noise exposure in those areas where the sound exceeds 60 dBA Ldn.
- 6.1.6 In the State Department of Real Estate (DRE) public report, inform prospective buyers of lots sharing a border with Bickford Ranch Park, Tower Park and/or the Village Commercial Center of the potential land uses and hours of operation.

- 6.1.7 In the State Department of Real Estate (DRE) public report, inform prospective buyers of lots within 1,000 feet of the fire station site of potential noise associated with emergency events.
- 6.1.8 Restrict time of truck deliveries to the Village Commercial Center to the hours of 7:00 a.m. to 6:00 p.m.
- 6.1.9 Heavy truck deliveries shall be prohibited along the edge of the Village Commercial Center where there is a shared border with residential lots.

7. SAFETY STANDARDS

7.1 RESIDENTIAL AND COMMERCIAL SECURITY STANDARDS

Residential security shall be promoted by the use of architectural and urban design elements that create defensible space. All residential areas shall be planned to provide adequate emergency access for vehicles and personnel as determined by the service providers and approved by the Planning Director and/or the Director of Public Works.

7.2 FIRE SAFETY STANDARDS

Development Plans within the Plan Area shall be reviewed by the California Department of Forestry and Placer County Fire Department as part of Placer County's Design Review Committee process. The County shall require implementation of all fire protection measures required pursuant to Placer County standards or developed during prevention program planning including access to Open Space in accordance with Figure 7.1.

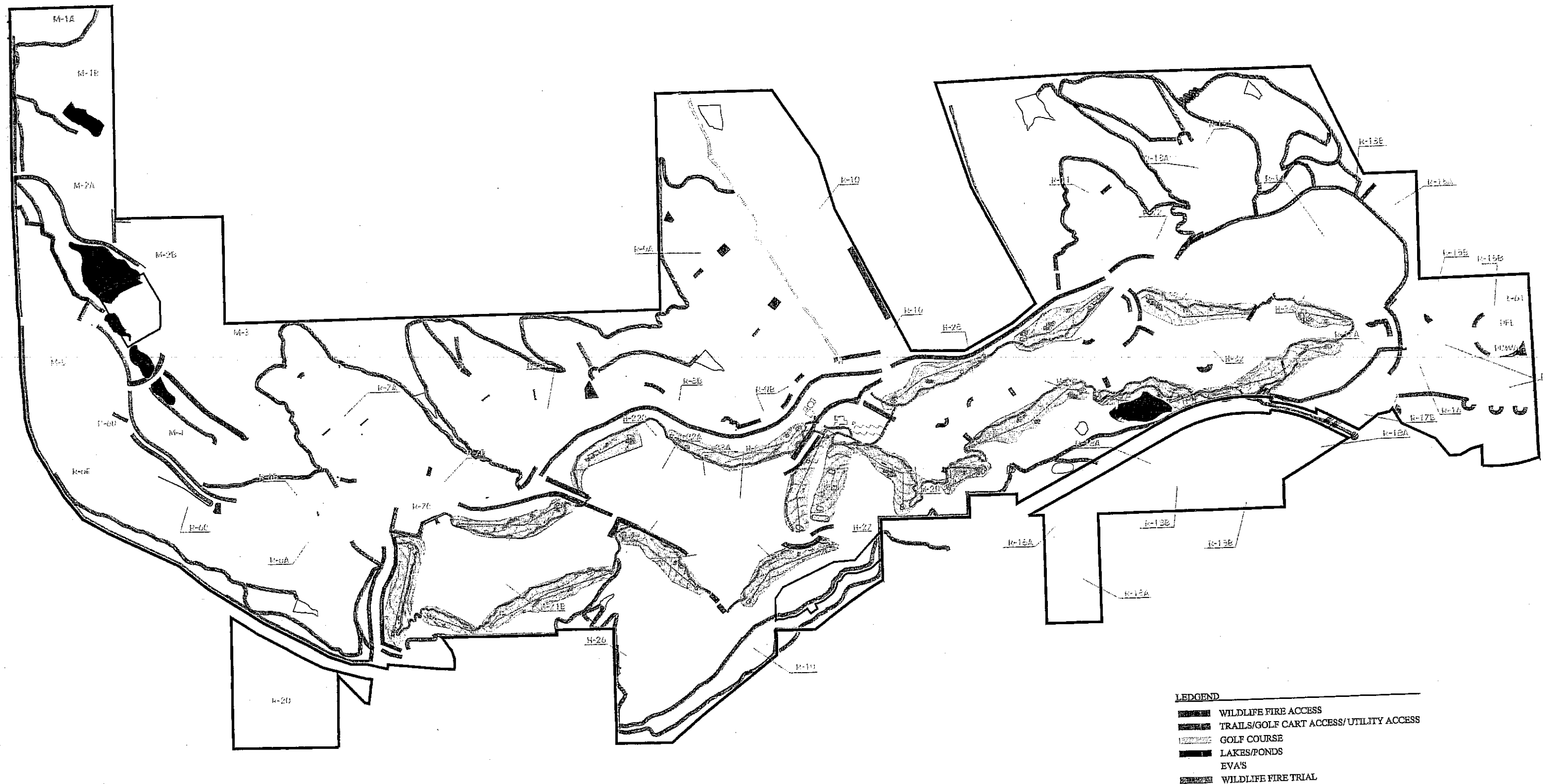
7.3 FUEL REDUCTION

The requirements of Public Resources Codes 4290 and 4291 and the following fuel reduction standards are to be implemented on the Bickford Ranch in order to reduce the fire hazards and increase the potential of success of fire suppression activities during initial attack response.

7.3.1 Modified Shaded Fuel Break

A modified shaded fuel break is a defensible location to be used by fire suppression resources to suppress oncoming wildfires. Any fuel break by itself will not stop a wildfire. It is a location where the fuel has been modified to increase the probability of success for fire suppression activities. Ground resources can use the location for direct attack or firing out. Air resources can use the location for fire retardant

BICKFORD R A N C H



NOT TO SCALE

Figure 7.1
OPEN SPACE FIRE ACCESS

drops. The public and fire resources can use the location for more efficient ingress and egress. Figure 7.2 illustrates a typical Modified Shaded Fuel Break.

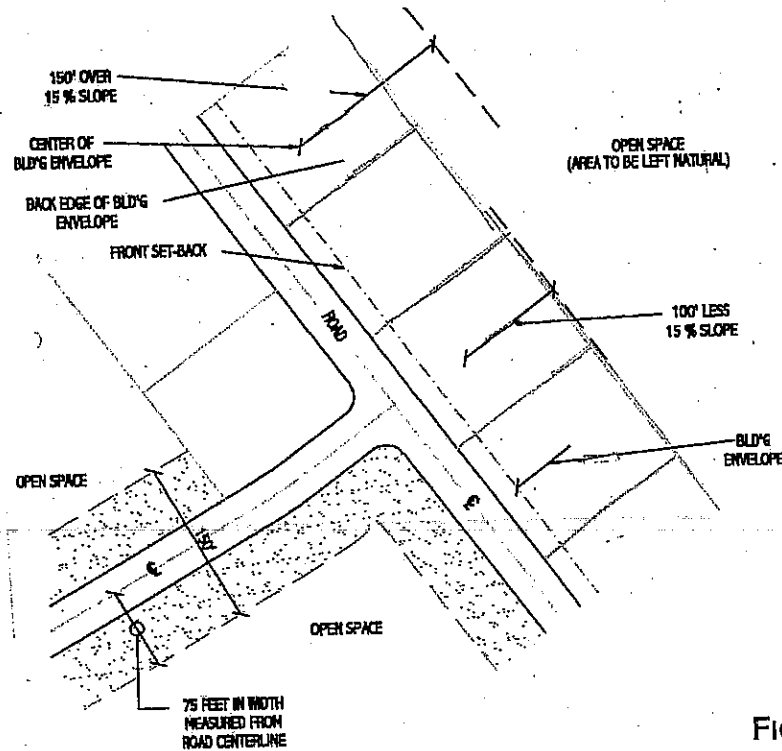


FIGURE 7.2
LIMITS OF MODIFIED SHADED FUEL BREAK

7.3.1.1 Modified Shaded Fuel Break Prescription

Fuel modification shall be conducted in the modified shaded fuel break area shown in Figure 7-2. Fuel modification consists of removing dead fuels or pruning trees, shrubs, brush, and other vegetative growth within the project. All work is to be completed by use of a masticator (crusher) and/or hand crews supported by chippers.

Understory Fuels

Understory fuels over 1 foot in height, exclusive of trees or tree seedlings, are to be removed in order to develop vertical separation and low horizontal continuity of fuels.

Mid-story Fuels

Prune branches off of all trees to a maximum of eight to ten feet from the forest floor. In no event would pruning remove branches higher than 1/2 of the distance between the live crown and the height of the tree.

Brush

Individual plants or groups of plants up to 10 feet in canopy diameter may be retained provided there is a horizontal separation between plants of three to five times the height of the residual plants and the residual plants are not within the drip lines of an overstory tree. It is desirable to remove as much flammable-type brush as possible within the shaded fuel break area. However, if individual plants or pairs of plants are desired to be left, leave plants with the following characteristics (subject to the prescriptions listed herein): young plants less than 5 feet tall and individual or pairs of plants that are no more than 5 feet wide. Fire resistive plants and brush should be retained where possible.

Snags

Snags are a conduit for the spread of fire, however, they also provide excellent wildlife habitat. Snags less than 30 feet in height shall be retained if they are not capable of reaching a road or structure, should they fall, and there is a separation of at least 100 feet between snags.

Wetlands

Wetlands under the jurisdiction of the U.S. Army Corps of Engineers will be avoided for treatment and ground operations. Any work within wetland areas shall be subject to the U.S. Army Corps of Engineers Section 404 permit conditions for the Bickford Ranch project.

Rare and Endangered Species

Under no circumstances shall elderberry shrubs be removed or treated within the shaded fuel breaks. The U.S. Fish and Wildlife Service (USFWS) will be informally consulted to determine the appropriate setback area to be maintained around each elderberry shrub within the shaded fuel break areas. No fuel modification measures can be implemented within this setback. The USFWS requires a minimum setback of 20 feet from the dripline of each elderberry shrub or cluster of shrubs, but may require setbacks of up to 100 feet according to the USFWS Conservation Guidelines for the Valley Elderberry Longhorn Beetle (July 9, 1999).

7.3.2 Defensible Space Prescription: PRC 4291

- 7.3.2.1 Maintain around and adjacent to a building or structure a firebreak made by removing and clearing away, for a distance of not less than 30 feet on each side thereof or to the property line, whichever is nearer, all flammable vegetation or other combustible growth. This does not apply to single specimens of trees, ornamental shrubbery, or similar plants that are used as ground cover, if they do not form a means of rapidly transmitting fire from the native growth to any building or structure. Oak trees with trunks within 3 feet of each other, essentially making one canopy, may be considered one tree in the defensible space areas.
- 7.3.2.2 Remove that portion of any tree that extends within 10 feet of the outlet of any chimney or stovepipe.
- 7.3.2.3 Maintain any tree adjacent to or overhanging any building free of dead or dying wood.
- 7.3.2.4 Maintain the roof of any structure free of leaves, needles, or other dead vegetative growth.
- 7.3.2.5 Provide and maintain at all times a screen over the outlet of every chimney or stovepipe that is attached to any fireplace, stove, or other device that burns any solid or liquid fuel. The screen shall be constructed of nonflammable material with openings of not more than one-half inch in size.

- 7.3.2.6 Within 100 feet of existing structures all annual grasses are to be maintained to below 6 inches in height.

7.3.3 Requirements

In addition to the Modified Shaded Fuel Break prescription described above, the following standards also apply.

- 7.3.3.1 For any lot that borders an open space or common area, a modified shaded fuel break shall be constructed. The fuel break shall be a minimum 50 feet and may extend a maximum of 100 feet or to the property line, whichever is nearer, as measured from the edge of any building or structure to the rear or side of the portion of the lot that is adjacent to the open space. Exceptions to the property line limit are R-7B and R-13B, where the modified shaded fuel break shall be 100 feet in width regardless of the location of the property line. All lots proposing a fuel break width between 50 and 100 feet shall be subject to approval by CDF with the following exceptions.
- 7.3.3.2 Lots in Heritage Ridge, including but not limited to H-25 and H-32, which border natural open space shall provide a minimum 50 foot modified shaded fuel break up to a maximum 100 foot fuel break, regardless of the location of the property line. (See Figure 7.2.)
- 7.3.3.3 The location of all fuel breaks within Heritage Ridge shall be subject to approval by CDF.
- 7.3.3.4 A modified shaded fuel break adjacent to roads, including Clark Tunnel Road north of the project boundary, shall be constructed 75 feet in width, measured from road centerline. (See Figure 7.2.)
- 7.3.3.5 All accesses designed into the open space or common areas of a subdivision shall be made accessible by a 15 foot wide clear space fire access lane. The fire access lanes shall be constructed as shown and approved by the California Department of Forestry and Fire Protection (CDF) and the Placer County Office of Emergency Services/Placer County Fire Department on "The Open Space Fire Access" exhibit. (See Figure 7.1.) Utility

access lanes may be used as access for fire fighting purposes. Emergency vehicle access roads within the project boundaries shall be made accessible by 18 foot wide all weather surface roads. Access from each cul-de-sac when adjacent to open space or common area shall be provided as approved by CDF. The "Open Space Fire Access" exhibit and approved by CDF and the Placer County Fire Department meets these requirements.

7.3.3.6 Covenants, Codes, and Regulations (CC&R's) of Home Owner's Associations and/or Ordinances of County Service Areas shall require that modified shaded fuel breaks be maintained to the specifications of the modified shaded fuel break prescription. The final location of all modified shaded fuel breaks shall be recorded on each relevant final map in consultation (and subject to prior approval for those areas noted in No. 1) with CDF.

7.3.3.7 On site factors which necessitate variances/exceptions to the conditions and requirements included in this document may be allowed on a case by case basis subject to approval by CDF.

7.4 FIRE PROTECTION EASEMENTS

As noted above, the standard 30-foot side yard setback can be reduced on lots over 1.0 acre and less than 2.0 acres in size if the adjacent lot is encumbered by a fire protection easement. A sample deed restriction that shall be recorded for such easement is shown in Figure 7.3.

NOTICE OF RESTRICTION ON LAND DEVELOPMENT

The undersigned declares that he/she is the owner of that certain parcel of land located in the unincorporated area of Placer County in attachment "A" and identified as APN# _____.

The property described in attachment "A" has a deed restriction which allows for a 10-foot wide fire protection easement along each side of the property line in order to provide a 30-foot total defensible space, as defined in the Public Resource Code, Section 4291 (PRC-4291). The intent of this easement is to allow the adjacent property owner the right to maintain the area within the easement in such a way as to comply with the California Department of Forestry and Fire Protection's Fire Standards. This easement shall remain in effect until a Certificate of Occupancy is issued by Placer County for the property described in attachment "A" and identified as APN# _____.

Date: _____

By: _____

State of California) On _____, 200__ before me,
County of Placer) ss _____, Notary Public
personally of satisfactory evidence to be the person whose name is
subscribed to the within instrument and acknowledged to me that
he/she authorized capacity, and that by his/her signature on the
instrument the person, or the entity upon behalf of which the
person acted, executed the instrument.

Witness my hand and official seal

Notary's Signature

FIGURE 7.3
SAMPLE DEED RESTRICTION

8. SITE DEVELOPMENT & GRADING

8.1 GRADING GOALS

The Plan Area consists of 1,942± acres of a complex set of landforms with dramatic variations in topography and elevation. Elevations of the property rise from about 300 feet above sea level on the northwest corner to over 950 feet on the eastern edge of the property. This rise in terrain occurs along a major volcanic ridge known as Boulder Ridge that extends east to west.

Since large parts of the Plan Area will be left in their natural state, the goal of these standards is to include specific grading techniques that will maintain the natural terrain and conditions on the site to the extent possible, particularly in the transition areas.

- 8.1.1 The Final Master Grading Plan for Bickford Ranch shall be designed to reduce any potential impacts on sensitive habitat and natural open space areas adjacent to the developed areas to the extent feasible.
- 8.1.2 Due to the Plan Area's prominent landforms, natural drainage and slopes will require special grading considerations to ensure that development occurs in a manner that shall substantially maintain the natural character of the area and the area's environment as well as aesthetic values in accordance with these standards.
- 8.1.3 Where trees are removed because of grading requirements, native species of trees shall be included in the revegetation of disturbed areas. The Bickford Ranch Landscape Design Guidelines shall be used as a guide for revegetation of disturbed areas. All revegetation in areas of the Plan Area identified for reforestation shall comply with the Bickford Ranch Oak Forest and Conservation Plan.
- 8.1.4 Where grading is necessary near existing oak trees, (6 inches diameter breast height (dbh) and greater) any activity within the

dripline of the trees shall be minimized. Properly designed retaining walls may be used to protect individual trees.

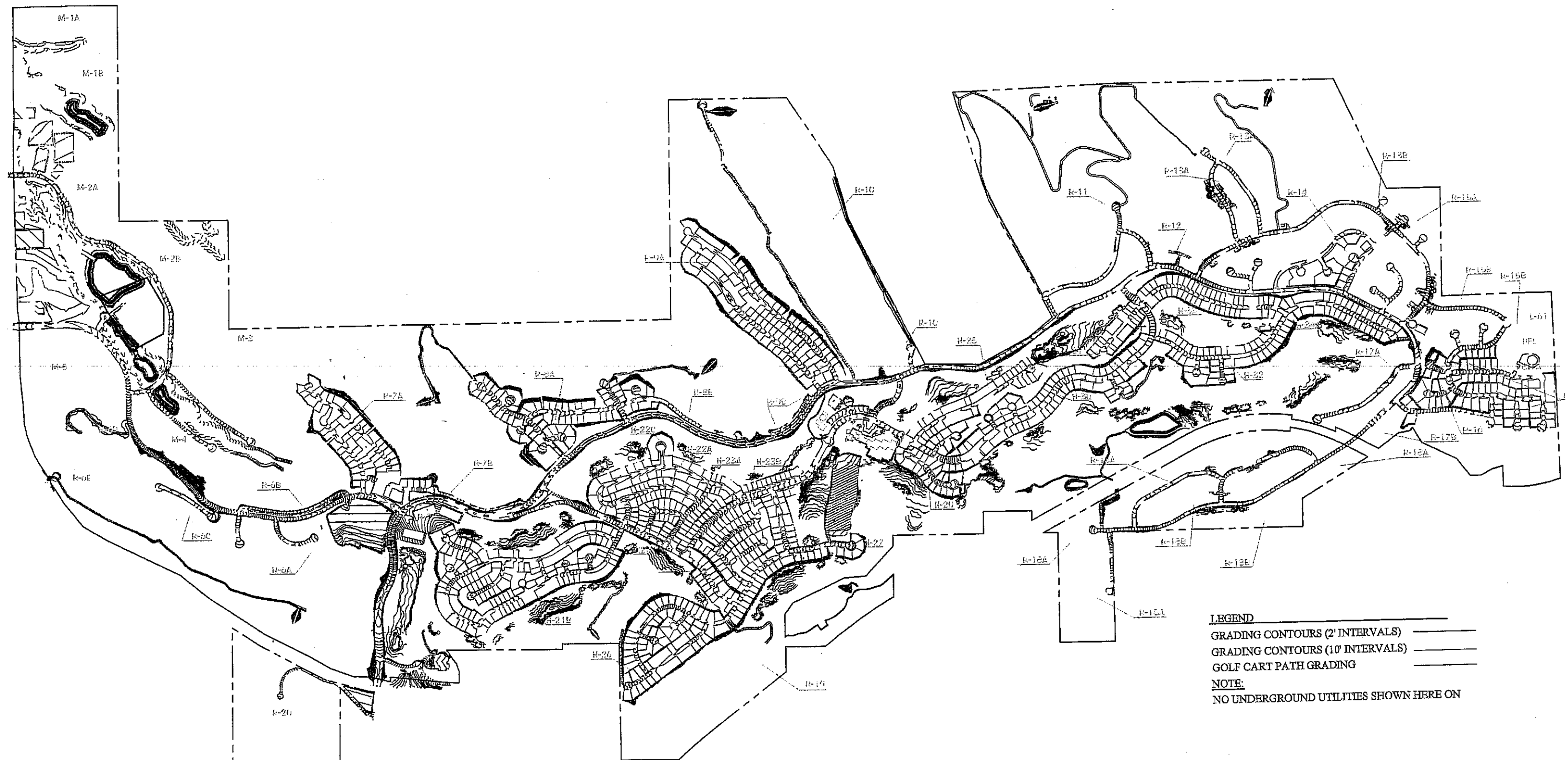
8.2 GRADING AND SITE DEVELOPMENT STANDARDS

Unless otherwise noted, grading and site development shall conform to the following standards and as depicted in the Master Grading Plan depicted in Figure 8.1 and the Master Drainage Plan depicted in Figure 8.2. The limits of golf course grading are shown on Figure 8.1.

- 8.2.1 The existing drainage ways and landforms shall be incorporated into the Final Master Grading Plan to the extent possible. Where grading is necessary, the disturbed areas shall be rendered visually compatible with the existing landform.
- 8.2.2 All Grading Plans shall specify soil stabilization procedures to minimize the potential for erosion. Erosion and sediment control measures shall be consistent with requirements of the Placer County Grading Ordinance. These measures shall be employed until the graded areas are permanently stabilized.
- 8.2.3 Grading Plans for all development projects in the Plan Area shall comply with the provisions of the Placer County Grading Ordinance and Chapter 70 (Excavation and Grading) of the Uniform Building Code. Where there are any conflicts between the County Grading Ordinance and Chapter 70, the County Grading Ordinance shall govern. Exceptions to the above ordinance shall be allowed with a recommendation from a licensed Geotechnical Engineer and County approval.
- 8.2.4 The developer must provide a Soils Report prepared by a licensed engineering geologist and/or a geotechnical/soils engineer as the basis for the Grading Plan. The report is to document methods for providing a safe and stable development and shall be provided to and approved by the Department of Public Works with the Improvement Plans in accordance with Placer County Standard Conditions.

BICKFORD

R A N C H



LEGEND

GRADING CONTOURS (2' INTERVALS) ———

GRADING CONTOURS (10' INTERVALS) ———

GOLF CART PATH GRADING ———

NOTE:

NO UNDERGROUND UTILITIES SHOWN HERE ON



NOT TO SCALE

Figure 8.1
MASTER GRADING CONCEPT

NOT TO SCALE

PROPOSED DRAINAGE STRUCTURES —
 PROPOSED DRAINAGE DITCH ————
 PROPOSED DRAINAGE PIPES —————
 DRAINAGE SHED BOUNDARY ————
 PROPOSED DRAINAGE RETENTION POND ◊

Figure 8.2
DRAINAGE SYSTEM

- 8.2.5 Prior to any approval of Improvement Plans an overall Master Grading Plan shall be used as a guideline for subsequent detailed Grading Plans for individual stages of development within each phase and shall include the following:
- a. Techniques that will be utilized to prevent erosion and sedimentation during and after the grading process.
 - b. Approximate timeframes on an annual basis when grading could occur.
 - c. Preliminary pad and roadway elevations.
 - d. Any other requirements outlined in the Bickford Ranch Final Environmental Impact Report (FEIR) Mitigation Measures as they relate to grading, as listed in Appendix A of the Bickford Ranch Specific Plan.
 - e. Maximum extent of grading limitations.
 - f. Compliance with County Grading Ordinance.
- 8.2.6 Landform grading techniques consisting of cut and fill slopes shall be designed to blend into existing slopes by rounding and contouring to provide a smooth transition between grade changes. Large cut and fill slopes shall be contoured to create a natural appearance and to provide swales and benches for clustering vegetation. Contour grading is defined as moved soil that follows the general outlines and/or results in a similar form and/or slope as the previous original natural terrain.
- 8.2.7 Grading will be permitted outside of the area of immediate development when it is consistent with an approved Grading Plan and consistent with adopted Mitigation Measures. Stockpile and borrow sites may be permitted within areas scheduled for future development subject to a Grading Plan approved by Placer County.

- 8.2.8 Processing of on-site materials for use as backfill or aggregate road base shall be allowed. A permit from the Air Quality Management District is required for use of rock crushers and other machinery to prepare aggregate road base.
- 8.2.9 No building site shall be approved for construction that does not have provisions for conducting surface drainage from the site to a drainage course, a drainage channel, or a public street. Such drainage shall be in accordance with established engineering practice and approved by the Department of Public Works. An easement subject to HOA maintenance shall be required for conducting drainage across private property.
- 8.2.10 All re-contoured slopes shall be planted or otherwise protected from the effects of water runoff and wind erosion according to established engineering practice within 90 days after completion of grading or by October 15, whichever occurs first. The Public Works Director or designees may approve extensions for reasonable cause. Planting shall be designed to blend with the surrounding terrain and character of development and shall consist of fire-resistant varieties and approved during the improvement plan process.
- 8.2.11 Graded slopes shall be rounded and contoured with the existing terrain to avoid an artificially contoured appearance. Graded areas shall be planted with indigenous vegetation to blend with the adjacent landscape and prevent erosion.
- 8.2.12 No grading alteration, topography, or construction of structures shall occur within fifty (50) feet of delineated wetlands without appropriate state and federal permits prior to any work within these areas. Only wetland enhancement work shall occur within 10 feet of delineated wetlands.
- 8.2.13 Cut or fill slopes shall not exceed 2:1 without the specific recommendations of the soils engineer and DPW approval.
- 8.2.14 Maximum slope for streets is 15 percent. Slope of 15 percent may only be exceeded with approval of the Public Works Department.
- 8.2.15 Lots with driveway access greater than 12% shall be noted in the Development Notebook. A grading permit for driveways shall be required prior to issuance of a building permit.

8.3 RESIDENTIAL GRADING PLANS

Grading plans for residential areas shall be divided into two types, as depicted in Figure 8.3.

8.3.1 Type A Lots

Type A lots are lots wherein the driveways, utilities, drainage facilities and structure foundations may be the only areas of soil disturbance and tree removal during construction. Structure construction would consist of raised foundations and/or padded foundations where the visible cut and/or fill would not exceed five (5) feet, otherwise raised foundations would be used.

Grading to create useable outdoor living spaces shall be limited to visible cut and/or fill that does not exceed 2.5 feet and subject to tree removal restrictions.

Type A lots are located in M5, R-6A through R-6E, R-10-R-13B, inclusive; a portion of R-14, R-15A & B, a portion of R-16, R-17A, a portion of R-17B and R-18A through R-20, inclusive.

8.3.2 Type B Lots

Type B lots are lots wherein the streets and the entire lot area (including cut and/or fill slope areas) shall be subject to soil disturbances and tree removal.

Type B lots are located in R-7A, R-7C, R-8A, R8-B, R-9A, H-21A through H-34, inclusive, a portion of R-14, a portion of R-16 and a portion of R-17B.

The Residential Lot Grading Concept, shown on Figure 8.3 indicates the location of Type A and Type B Lots.



NOT TO SCALE

TYPE A LOT WHEREIN THE DRIVEWAYS, UTILITIES, DRAINAGE FACILITIES AND STRUCTURE FOUNDATIONS MAY BE THE ONLY AREAS OF SOIL DISTURBANCE AND TREE REMOVAL DURING CONSTRUCTION. STRUCTURE CONSTRUCTION WOULD CONSIST OF RAISED FOUNDATIONS AND/OR PADDED FOUNDATIONS WHERE THE VISIBLE CUT OR FILL SLOPES WOULD NOT EXCEED 5 FEET, OTHERWISE RAISED FOUNDATIONS WOULD BE USED. GRADING TO CREATE FLAT USEABLE OUTDOOR LIVING SPACES SHALL BE LIMITED TO VISIBLE CUT AND/OR FILL SLOPES THAT DO NOT EXCEED 2 1/2 FEET.

TYPE B LOTS WHEREIN THE STREETS AND ENTIRE LOT AREA (INCLUDING CUT AND/OR FILL SLOPE AREAS) SHALL BE SUBJECT TO SOIL DISTURBANCES AND TREE REMOVAL.

Figure 8.3
RESIDENTIAL LOT GRADING CONCEPTS

8.3.2 Slope Easements

Areas within residential lots that have a slope of thirty percent (30%) or greater shall be placed in a slope easement. The slope easement shall prohibit construction of structures and prohibit disturbance within areas of 30% slope or greater. Slope easements shall be identified in the Development Notebook and identified on the tentative map.

8.4 GENERAL LOT GRADING STANDARDS

Many of the home sites, particularly the larger lots intended for custom-built residences, will not require extensive grading beyond what is necessary to create the street network. The following Grading Standards shall apply to single-family dwellings located in hillside areas.

- 8.4.1 Retaining walls may be used along roadways and adjacent to residential lots. Retaining walls shall be constructed of wood, brick, block, masonry, stone, Mechanically Stabilized Earth (MSE) or concrete. All retaining walls over forty-eight inches (48") in height (including depth of footing) shall be designed by a registered engineer and approved by Placer County Department of Public Works.
- 8.4.2 Graded slopes shall be consistent with the recommendations of the geotechnical/soils engineer such as percent of slope and compaction.
- 8.4.3 Residential grading or drainage plans shall comply with the overall Master Grading and Drainage Plan for Bickford Ranch.
- 8.4.4 Common drainage shall be conveyed in dedicated easements to roadways and open space and shall be subject to Homeowners Association (HOA) maintenance.
- 8.4.5 Interceptor ditches shall be installed to reduce the potential for erosion and provide necessary drainage. These ditches shall be unobtrusive from the bottom of slopes. Where necessary, benches with interceptor ditches shall be installed on manufactured slopes greater than twenty-five (25) feet in height. Small interceptor ditches may be placed on slopes with no benches with approval of the project geotechnical engineer and the Department of Public Works.

8.5 SPECIFIC GRADING STANDARDS FOR THE MEADOWS AND RIDGES (TYPE A LOTS)

- 8.5.1 Dwellings can be designed with slab foundations where individual cut or fill slopes do not exceed 5-feet in height. Otherwise raised, stepped or pier and beam foundations shall be used to reduce grading and utilize existing contours of the land. Slab foundations are allowed for garages and basements without limitations. Grading for drainage is permitted.
- 8.5.2 Grading to create flat useable outdoor living space shall be limited to visible cut and/or fill slopes that do not exceed two and one-half feet in height and subject to the tree restrictions.
- 8.5.3 Grading and construction around oak trees shall be consistent with the Oak Forest and Conservation Plan.
- 8.5.4 Grading to provide for drainage shall conform to the Development Notebook, the Master Grading Plan, Master Drainage Plan (Figures 8.1 and 8.2) and the Bickford Ranch Oak Forest and Conservation Plan.

See Figure 8.4 for grading within the Meadows and the Ridges Communities.

8.6 SPECIFIC GRADING STANDARDS FOR HERITAGE RIDGE (TYPE B LOTS)

- 8.6.1 Grading to create single level padded lots is permitted.
- 8.6.2 Grading shall blend with the natural terrain along the edges of the Heritage Ridge units adjacent to the golf course and natural open space areas
- 8.6.3 Rear yards may be graded to allow sufficient usable areas for outdoor living facilities such as patios and swimming pools.

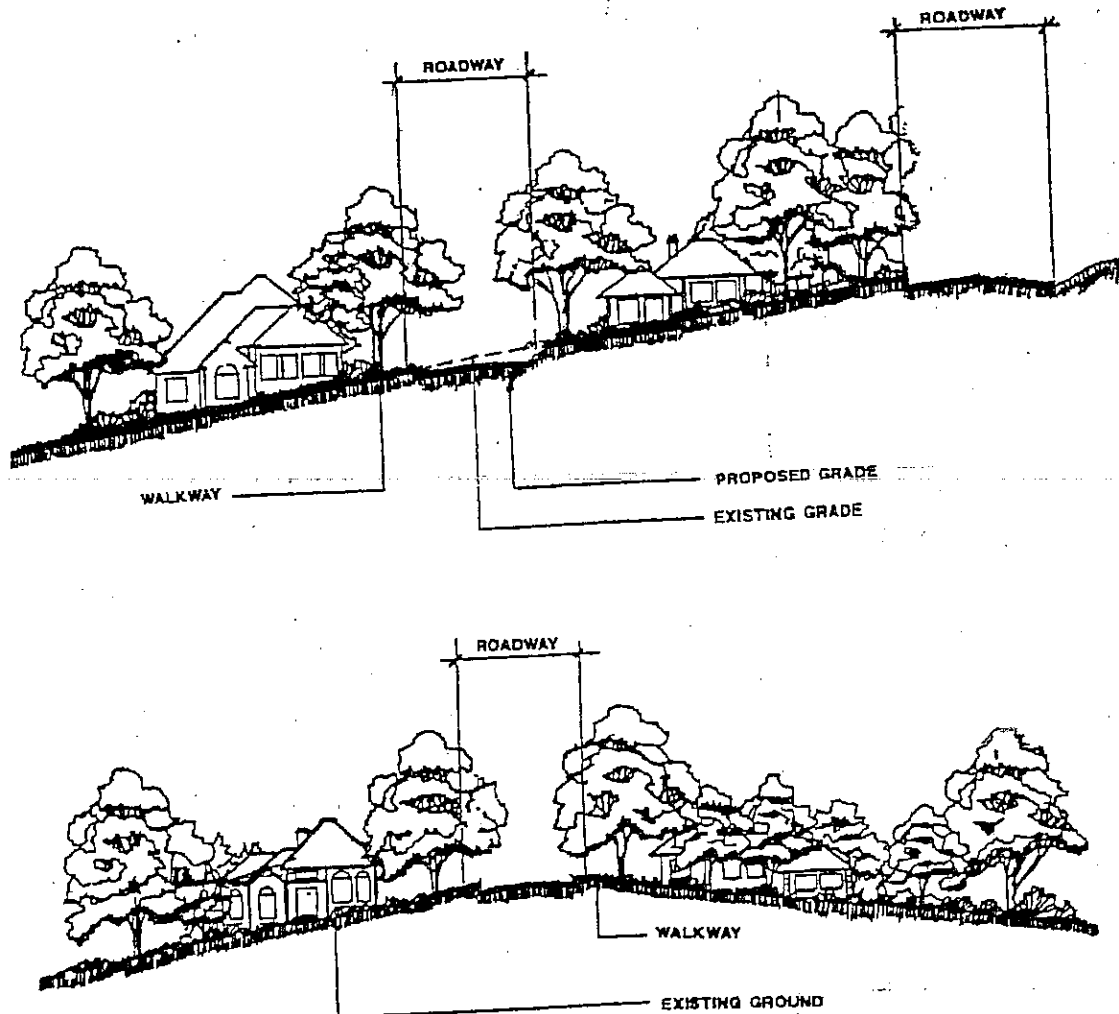


FIGURE 8.4
GRADING FOR MEADOWS AND RIDGES

- 8.6.4 Graded front yards shall be rounded or mounded from one yard to the next to minimize sharp grade changes between lots and provide adequate drainage.
- 8.6.5 Property lines shall be located along the top of slopes where feasible, not within natural open space areas.
- 8.6.6 Sloped areas for padded lots can be located in the golf course, consistent with the Master Grading Plan, or in open space as open space corridors.
- 8.6.7 Individual graded lots shall drain to the adjacent street or to elements of the overall drainage system located in the golf course or other areas of open space. Graded lots shall have a minimum of one percent (1%) slope toward adjacent streets or open space areas.

See Figure 8.5 for grading in the Heritage Ridge Community.

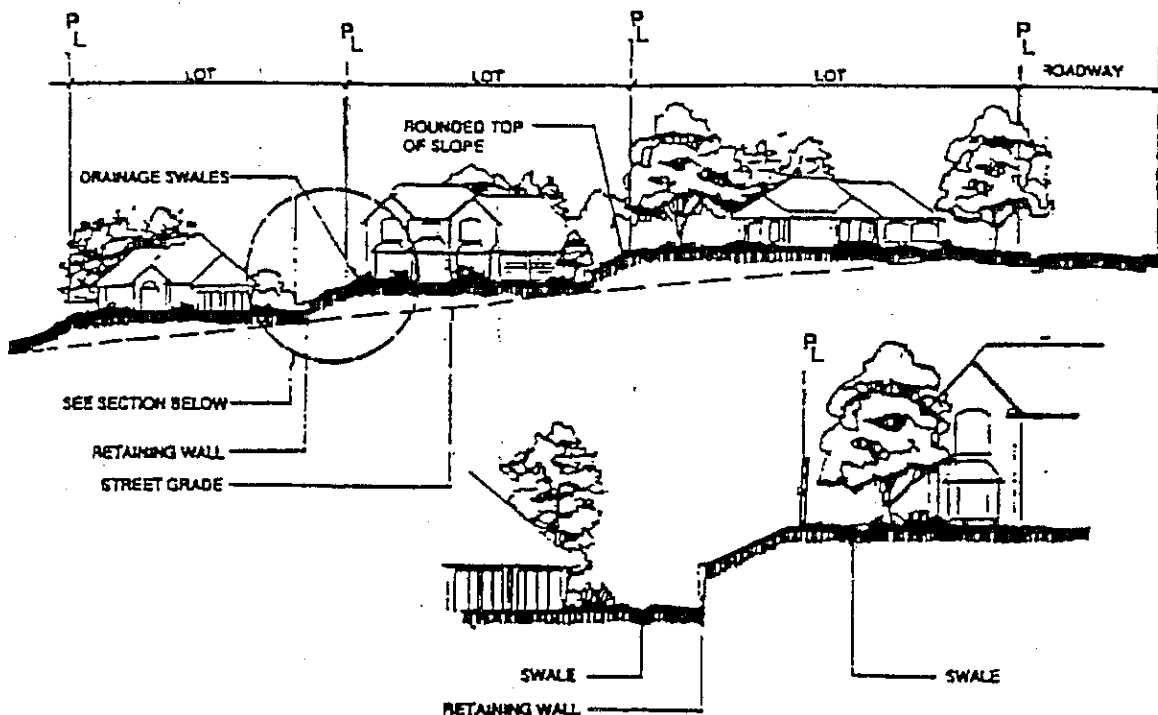


FIGURE 8.5
GRADING IN HERITAGE RIDGE

8.7 GRADING TRANSITIONS

- 8.7.1 All cut and fill slopes shall be designed to provide a smooth transition to the adjoining natural topography. It is anticipated that some grading may be required to achieve a visually acceptable natural look and to control drainage.
- 8.7.2 All cut and fill slopes shall include adequate setbacks for all buildings and structures at the top and bottom of each sloped area.
- 8.7.3 Cut and fill slopes shall be designed to minimize the potential for erosion. Consideration shall be given to the length and steepness of the slope, the characteristics of the local soils and up slope drainage areas.
- 8.7.4 Where rear yards abut the tops of slopes at natural open space and rights-of-way, trees and shrubs shall be located not to obstruct line of site from the roadway.
- 8.7.5 Transition areas shall be contour-graded with variable slopes and blended with the adjacent natural area to avoid flat appearances or steep grade changes.
- 8.7.6 On private streets, where residential lots back up to streets and the lots are higher in elevation than the street, the slope between the pad area and street shall be part of a HOA separate common area lot. Notification of the requirement shall be provided to future subdividers to ensure tentative maps are designed accordingly.
- 8.7.7 Graded common areas shall have drainage directed away from residences and shall be maintained by the HOA.

Grading transitions are shown on Figure 8.6.

9.4 POTABLE WATER FACILITIES

Placer County Water Agency (PCWA) is the water provider for the Plan Area. All potable water facilities serving the Plan Area shall be constructed in accordance with the Placer County Water Agency standards and Placer County Standards. A limited number of private water wells will be utilized to serve remote locations.

Wells shall meet Placer County Code for obtaining permits and constructing individual water wells on the following lots: two lots in R-6, three lots in R-10, four lots in R-19, five lots in R-20 and the Bitterroot Nursery lot. All other lots shall be served by public sewer.

Public restroom facilities within the parks shall be connected to the public water system.

9.5 WATER STORAGE TANK

An above grade water storage tank will be constructed in Ridge 16 and shall comply with the following standards.

- 9.5.1 To the extent possible, the water storage tank shall be screened from public view.
- 9.5.2 The tank shall be surrounded by security fencing as required by the appropriate agencies.
- 9.5.3 The tank shall be painted a flat, earth-tone color. The exterior color for the water storage tank shall be approved by Placer County Water Agency and the Planning Director.
- 9.5.4 Screen plantings of native species shall be used to mitigate any potentially objectionable views of the tanks.

Figure 9.1 presents a conceptual illustration of the Water Storage Tank.

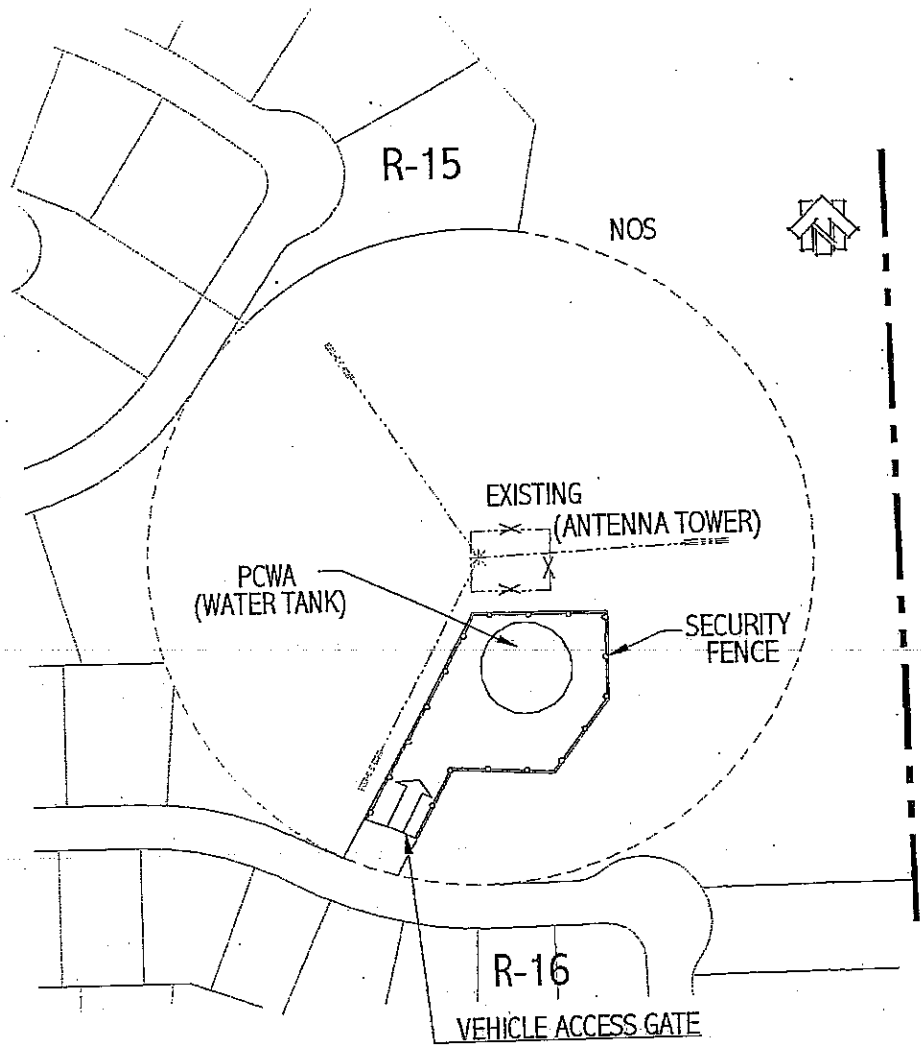


FIGURE 9.1
WATER STORAGE TANK

10. SIGNAGE

10.1 SIGNAGE THEME

The goal of the signage section is to provide a coordinated graphic system for site and building signage that communicates information in an aesthetically and visually pleasing manner. These standards are intended to provide for visual consistency among sign types throughout the Plan Area.

These signage standards are a method of describing the desired result but still maintaining a degree of flexibility. This section establishes minimum standards and provides a degree of flexibility to identify specific uses within the Plan Area for ease of navigation and to create a unifying sense of place throughout Bickford Ranch.

The standards of the Placer County Sign Ordinance and Chapter 30 of the Placer County Zoning Ordinance shall apply where provisions for signage are not contained herein. If a conflict between these standards and the Zoning Ordinance and/or Sign Ordinance occurs, the signage standards contained herein shall apply. Project signage does not require a conditional use permit. Signage is subject to review by the DRC.

Signage in the plan will be of a uniform design theme and is sized in a hierarchy ranging from Plan Area identification signage as the largest signs to smaller neighborhood monument signage. All signage will be constructed of the same type of building materials to ensure consistency throughout the Plan Area. Bickford Ranch signs will be framed by capped pilasters that have a stone appearance. The pilasters will form the edges of a sign with stone-like concrete fascia.

The base of all of all signs will be planted to relate the signs to the landscape. The stone appearance of the signs will provide a sense of permanence and quality. In this section, design concepts are presented for each type of sign in the Plan Area.

10.2 SIGNAGE STANDARDS

All signs within the Plan Area shall be designed to satisfy the following standards and the applicable provisions of the Placer County Zoning Ordinance.

- 10.2.1 Signs shall be maintained in good condition, always clean and free from graffiti or other disfigurements.
- 10.2.2 Surrounding landscaping should be maintained to allow for visibility and to enhance the sign face and structure. Plantings surrounding the sign should relate the sign with the landscaping.
- 10.2.3 Signage within the Plan area shall be reviewed by the Development Review Committee for compliance with the Bickford Ranch signage standards described in this section.
- 10.2.4 Construction shall be of durable, long lasting materials of high quality.
- 10.2.5 Illumination of signs shall comply with applicable lighting standards contained in Section 12.
- 10.2.6 Any lighted sign shall be illuminated only by continuous and stationary light sources. If the light sources are external to the sign or are otherwise physically detached from the sign, they shall be directed at the sign so that only the sign face is illuminated.
- 10.2.7 Lettering on signs shall be proportional to the sign and shall be in a font and style that is uniform in the signage throughout the Plan Area. This standard does not apply to street signage.
- 10.2.8 The Bickford Ranch logo may be incorporated in signage.

10.3 COMMUNITY MONUMENT SIGNS

The purpose of community monument signs is to identify the Bickford Ranch Plan Area from major access points to the project and within the project. Monument signage is intended to mark specific destinations within the Plan including, but not limited to, Tower Park, Bickford Ranch Park, golf course, clubhouse/recreation center and the fire station. Monument signage shall comply with the following standards:

- 10.3.1 Monument signage shall be located to identify the entrance or location of a destination within the Plan Area. Monument signage shall not be used to identify residential neighborhoods.
- 10.3.2 The size of the sign shall not exceed six feet (6'0") in width and 3'6" in height (including base).
- 10.3.3 Monument signage shall be constructed of split face concrete masonry units or other concrete materials with stone veneer pilasters.
- 10.3.4 The display area shall feature a bronze plaque display area with bronze patina lettering, consistent with Exhibit 10.1.
- 10.3.5 The base and pilaster caps of the sign may be concrete, stone or other natural material reviewed by the DRC.
- 10.3.6 Lettering within the display area shall not exceed five inches (5") in height.
- 10.3.7 Landscaping shall be incorporated at the base of the sign to link the signage to the natural landscape.

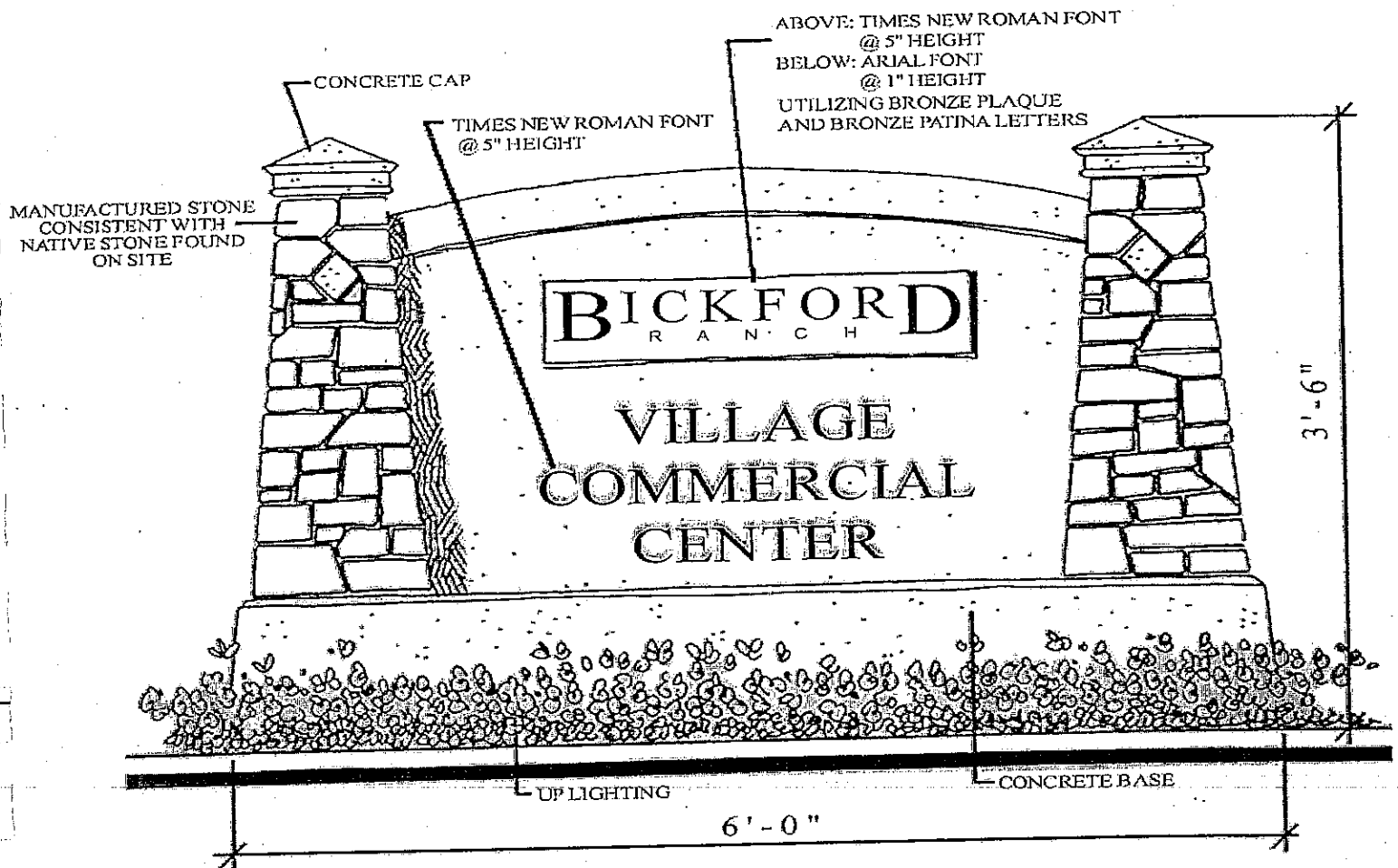


FIGURE 10.1
MONUMENT SIGNAGE

10.4 RESIDENTIAL SIGNAGE

Residential signage shall be used to identify neighborhoods in the Bickford Ranch community and shall have a monument character. Residential signage shall be consistent with the overall design theme of Bickford Ranch signage, while relating to the character of individual neighborhoods. General residential signage standards are presented in this section.

- 10.4.1 Neighborhood monument signs shall be located at the entrance to neighborhoods.
- 10.4.2 Neighborhood signs shall be located within open space corridor lots and not within single family residential lots.
- 10.4.3 Landscaping shall be incorporated at the base of the sign to link the signage to the landscape.
- 10.4.4 The size of the neighborhood monument signage shall not exceed 5'6" in height (including base) and 1'10" in width.

- 10.4.5 Residential monument signage shall be constructed of split face concrete masonry units or other concrete materials with stone veneer pilasters.
- 10.4.6 The display area shall feature a bronze plaque display area with bronze patina lettering, consistent with Exhibit 10.2.

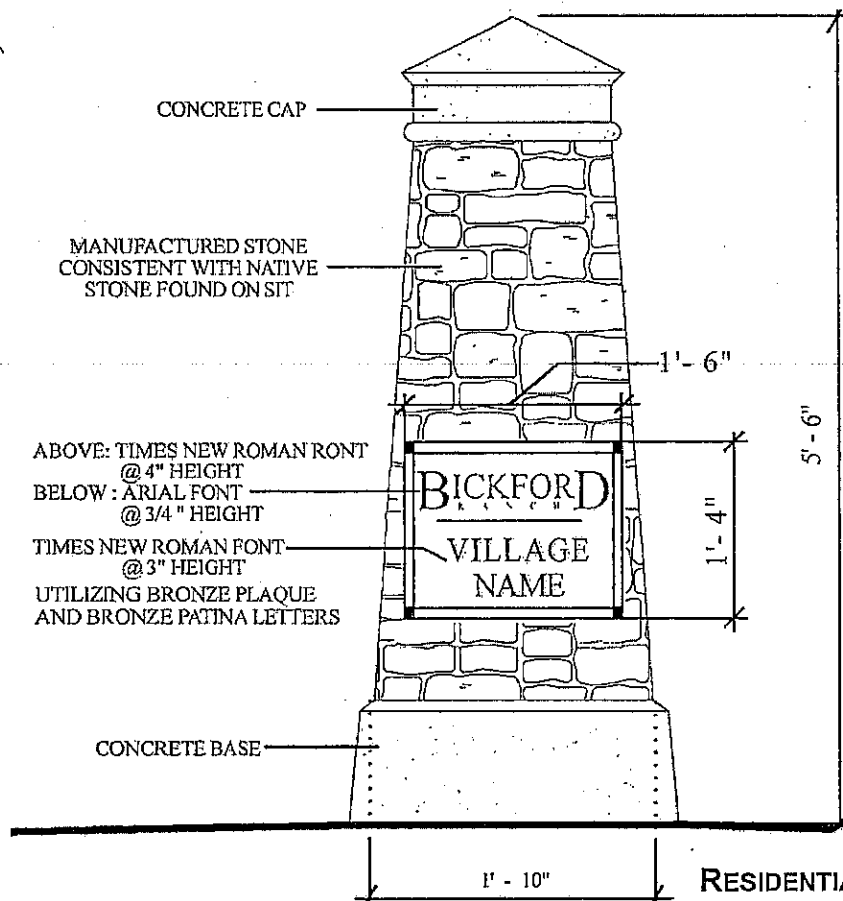


FIGURE 10.2
RESIDENTIAL MONUMENT SIGNAGE

- 10.4.7 The base and pilaster caps of the sign may be concrete, stone or other natural material reviewed by the DRC.
- 10.4.8 Lettering within the display area shall not exceed four inches (4") in height.
- 10.4.9 Lettering on sign faces shall be limited to the neighborhood name, the Bickford Ranch logo, or the street name.

10.4.10 Sight line considerations shall be considered in locating signage, as approved by the Development Review Committee.

10.5 VILLAGE COMMERCIAL SIGNAGE

The purpose of signage in the Village Commercial site is to identify the Village Commercial Center and to identify tenants within the commercial site.

The monument sign is defined as the main identifying signage for the center. A maximum of two monument signs may be used to identify the Village Commercial center at the locations identified on Figure 10.3. Of the two monument signs, one may be used to identify major tenants. The monument signs shall be located along the frontage of either Lower Ranch Road and/or Bickford Ranch Road. All signage shall be located on the Village Commercial site.

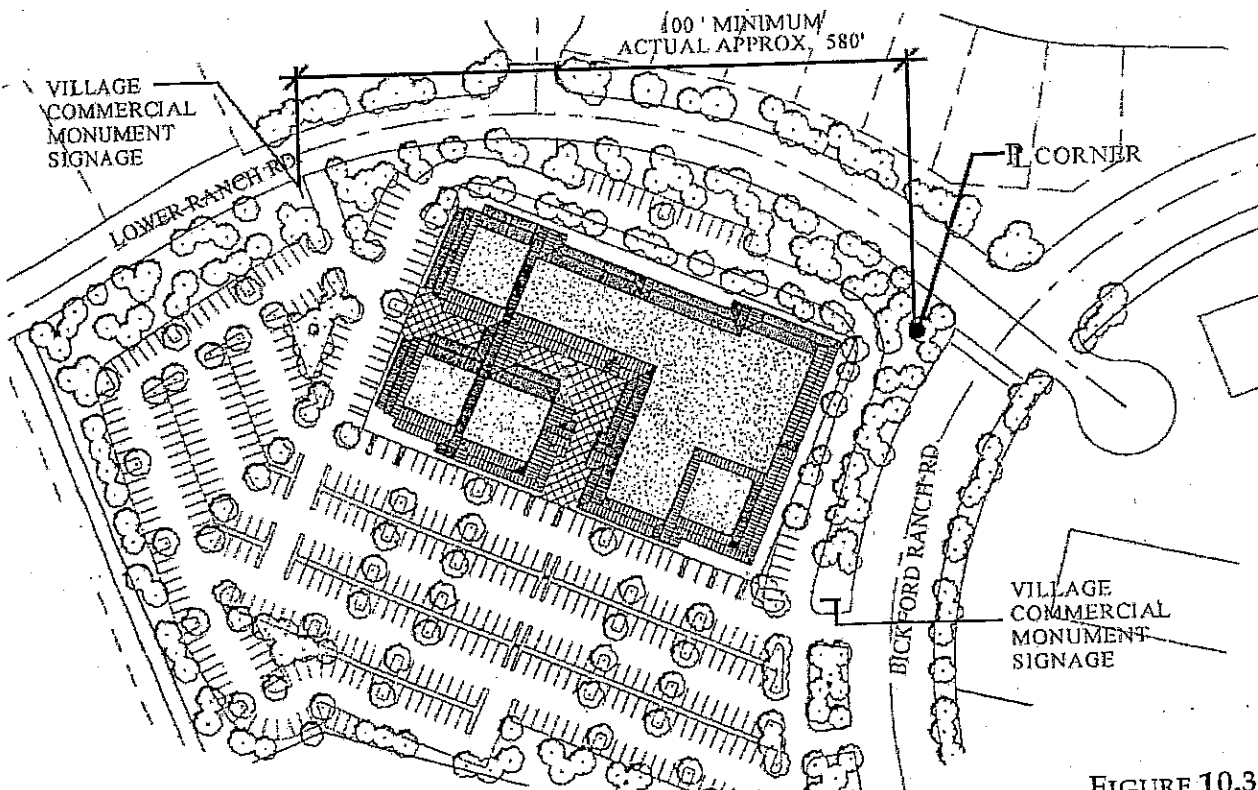


FIGURE 10.3
VILLAGE COMMERCIAL MONUMENT LOCATIONS

The following standards shall apply to monument signage for the Village Commercial site.

- 10.5.1 Signs shall be located a minimum of five feet (5') from any property line and no less than 100 feet from one another.
- 10.5.2 The size of the sign shall not exceed six feet (6'0") in width and 3'6" in height (including base).
- 10.5.3 Village Commercial monument signage shall be constructed of split face concrete masonry units or other concrete materials with stone veneer pilasters.
- 10.5.4 The base and pilaster caps of the sign may be concrete, stone or other natural material reviewed by the DRC.
- 10.5.5 Lettering within the display area shall not exceed five inches (5") in height.
- 10.5.6 Signage shall not be located where it will impair the visibility for passing motorists, pedestrians, or cyclists as approved by the Development Review Committee.
- 10.5.5 The Village Commercial Center monument sign shall have only the name of the center it represents and the names of a maximum of four tenants as shown on Figure 10.4.
- 10.5.6 Non-illuminated signs are encouraged. If illuminated, such illumination shall be low-intensity, diffused, stationary and constant. Fixtures used to illuminate an outdoor advertising sign shall be designed so that the light output is directed totally to the sign surface to prevent up-lighting, obtrusive light and spill beyond the sign.
- 10.5.7 Landscaping shall be incorporated at the base of the sign to link the signage to the natural landscape.

BICKFORD RANCH

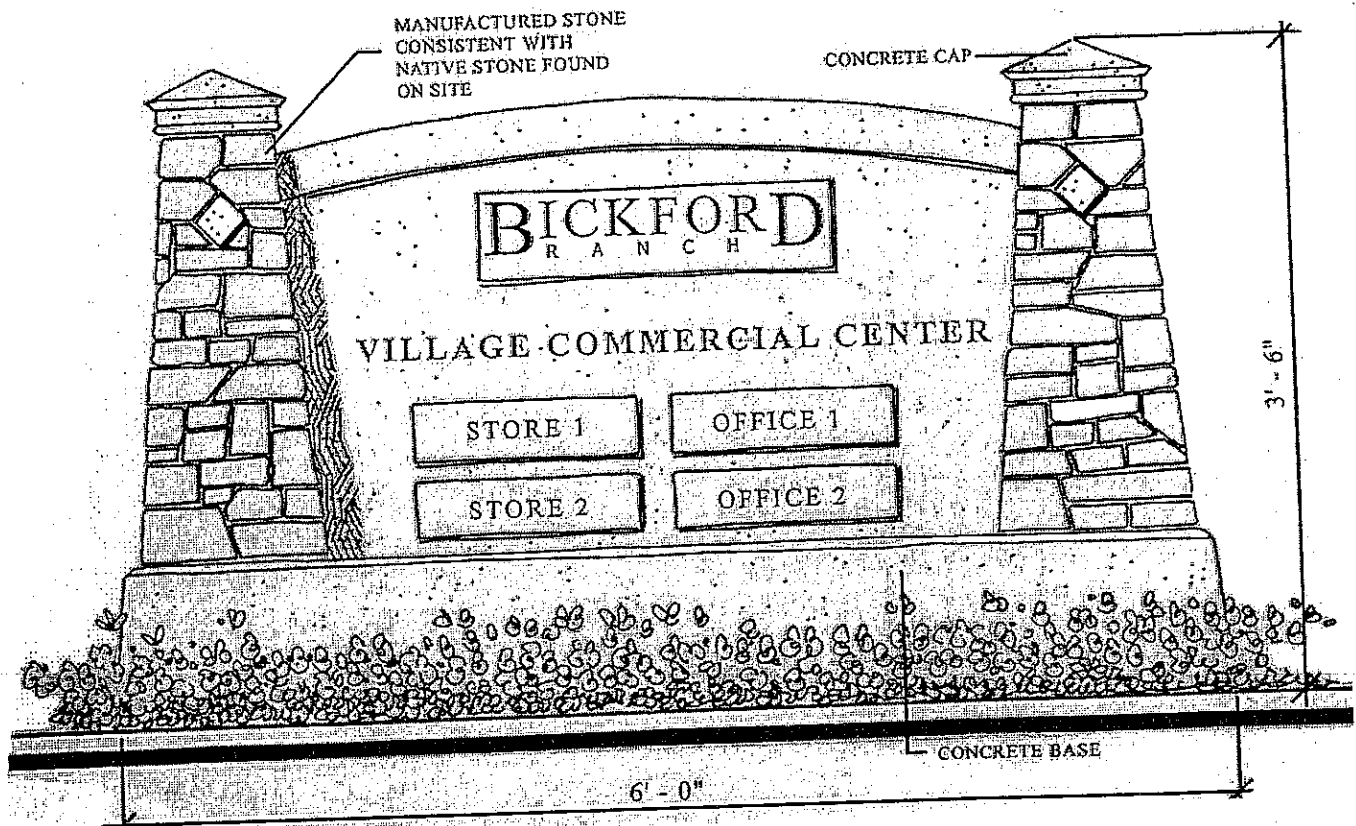


FIGURE 10.4
VILLAGE COMMERCIAL MONUMENT SIGNAGE

Signage for tenants shall be used to identify tenants of the Village Commercial Center and to graphically identify access to individual businesses. The following standards shall apply:

- 10.5.9 One building-mounted commercial tenant identification sign shall be used to identify each tenant.
- 10.5.10 Building mounted signs should be located on the vertical fascia above or near the tenant's entrance or on the exterior front or side of the building, but not both. Roof mounted signs and/or rear building signs are not allowed. The architecture of the building facades shall be considered in sign placement.
- 10.5.10 Building mounted signs shall be designed to be clearly legible for pedestrians.

- 10.5.10 Tenant signage display areas shall not exceed one square foot per lineal foot of frontage, not to exceed 24 square feet total per tenant.
- 10.5.11 Non-illuminated signs are encouraged. If illuminated, such illumination shall be low-intensity, diffused, stationary and constant. Fixtures used to illuminate an outdoor advertising sign shall be designed so that the light output is directed totally to the sign surface to prevent up-lighting, obtrusive light and spill beyond the sign. Outdoor advertising signs, may be constructed of translucent material, illuminated totally from within and colored with an opaque or dark background using translucent letters or symbols of very low intensity.
- 10.5.12 Building mounted signs for multi-tenant developments shall conform to an overall sign program as part of the proposed project development plans. Tenant identification signs shall be consistent in terms of scale, placement, typeface, color, mounting techniques, and illumination source.
- 10.5.13 The Village Commercial Site shall include a directory of tenants internal to the site.

10.6 DIRECTIONAL SIGNAGE

Directional signage assists in navigation through the Plan Area and to assist in locating community features such as the golf course, parks, neighborhoods and natural features. Directional signs shall be located near major intersection or decision points along the streets or paths. The following standards shall apply:

- 10.6.1 The size of the sign shall not exceed four feet (4'0") in width and three feet (3'0") in height (including base).
- 10.6.2 Directional signage shall be constructed of split face concrete masonry units or other concrete materials with stone veneer pilasters.
- 10.6.3 The display area shall feature a bronze plaque display area with bronze patina lettering, consistent with Exhibit 10.5.
- 10.6.4 The base and pilaster caps of the sign may be concrete, stone or other natural material reviewed by the DRC.

BICKFORD RANCH

- 10.6.5 Lettering within the display area shall not exceed five inches (5") in height.
- 10.6.6 The signage shall not be located where it will impair the visibility for passing motorists, pedestrians, or cyclists.
- 10.6.7 Signage shall not include more than four directional location listings.
- 10.6.8 Landscaping shall be incorporated at the base of the sign to link the signage to the natural landscape.

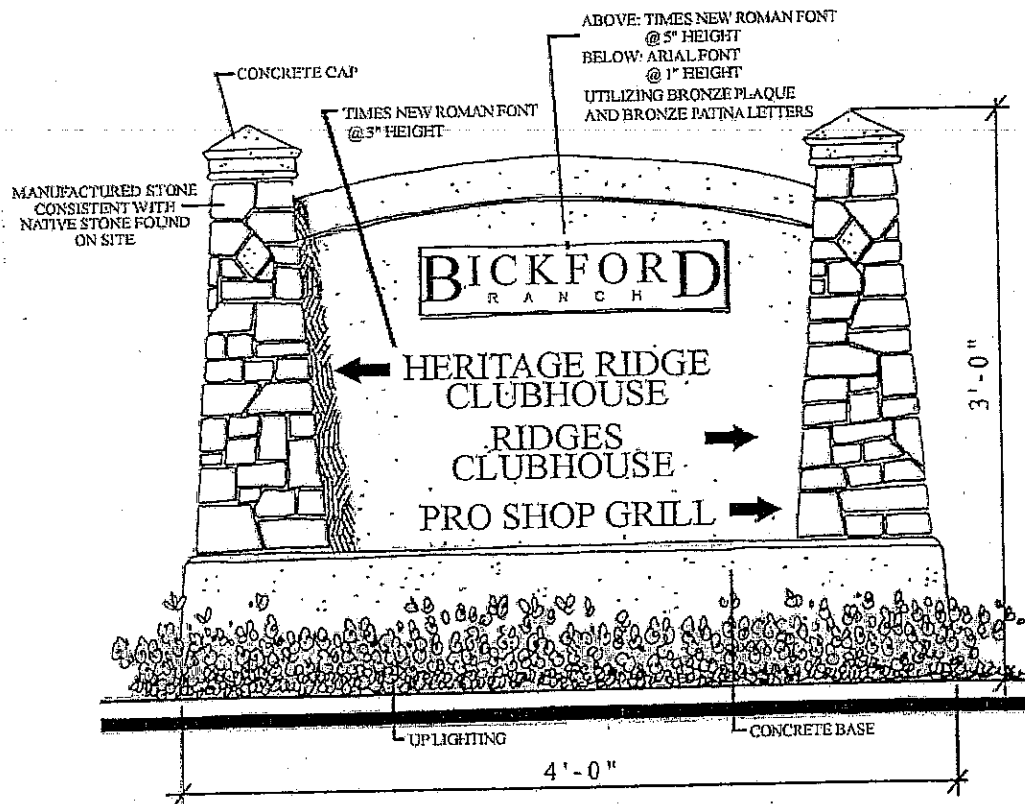


FIGURE 10.5
DIRECTIONAL SIGNAGE

10.7 TEMPORARY SIGNS

Temporary signs for marketing, leasing, real estate sales, and community identities are permitted in Bickford Ranch consistent with Section 10.094 (D) of the Placer County Zoning Ordinance. In addition, the following standards shall apply.

- 10.7.1 All signs shall be approved by the primary developer of the Plan Area or appointed representative.
- 10.7.2 Signs shall be not taller than six feet (6) in height and not wider than eight feet (8).
- 10.7.3 Signs shall be boxed in and reflect a relative degree of permanence. No signs shall be allowed mounted on posts.

10.8 PROHIBITED SIGNAGE

Prohibited signs include, but are not necessarily limited to, the following:

- 10.8.1 Billboards or any large signs that change regularly.
- 10.8.2 Signs that promote any other project or site other than Bickford Ranch (i.e. off-site signage).
- 10.8.3 Inflatable signs, icons or logos.
- 10.8.4 Animated, flashing or moving signs.
- 10.8.5 Signs with exposed fluorescent lighting.
- 10.8.6 Exterior signs with flags and banners.

10.9 REGULATORY SIGNS

Signage that is required to regulate safety aspects such as street speed limits and other advisory traffic signage shall be consistent with Placer County and State of California motor vehicular sign standards. Regulatory signs may include street signs, speed limit signs, access signs and parking signs.



10.10 STREET SIGNS

Street signage shall comply with the following standards.

- 10.10.1 Street signage shall identify the names of the streets and other circulation corridors within Bickford Ranch.
- 10.10.2 Poles shall be painted a color to match the other site furnishings to be used throughout the project.
- 10.10.3 Holiday banners and decorations on poles consistent with street signage may be used at the Village Commercial Site.

11. OUTDOOR STORAGE

11.1 OUTDOOR STORAGE STANDARDS

Outdoor storage shall comply with the following standards. These standards shall be contained in the project's CC&Rs.

- 11.1.1 On lots less than three acres in size, outdoor storage of motor vehicles, trailers, tents, boats, or their component parts shall not be allowed on any portion of the lot that is visible from the nearest public street frontage. Motor vehicles, motor homes, recreational vehicles, trailers or boats may be stored in locations that are screened from the nearest public street frontage by fences, walls or hedges. In no event shall any of these items be stored within the front setback area.
- 11.1.2 Rubbish or garbage shall not be stored outdoors in a manner that creates a nuisance on any lot.
- 11.1.3 Garbage receptacles shall not be stored on any portion of a residential lot that is visible from the nearest public street frontage.
- 11.1.4 Building materials shall not be permanently stored outdoors but may be temporarily stored for use on the same lot or parcel during the time that a valid building permit is in effect for construction on that site.
- 11.1.5 Trash storage facilities serving the commercial, public and multi-family residential areas shall be screened from public view by enclosed structures. All such trash receptacles and enclosures and enclosures shall be located away from public rights-of-way. The design of trash enclosures shall be consistent with and be similar to the architectural character of the building served.

Every commercial or public use building or structure shall have at least one trash receptacle sized to receive the trash generated.

11.1.6 Where practical, recycling facilities shall be incorporated into the plans for proposed commercial, public and residential developments.

11.1.7 Outside storage is not permitted in parking lot areas.

11.2 OUTDOOR SALES, STORAGE AND DISPLAY

Outside sales, storage and display shall not be permitted in parking areas, pedestrian circulation areas, or other areas not specifically designed for such uses.

12. LIGHTING

12.1 LIGHTING GOALS

The Bickford Ranch Plan Area and its surroundings are considered an area of intrinsically dark landscapes and low brightness. Therefore, the goal for the lighting standards is to preserve and protect the nighttime sky from lighting glare and pollution through the use of appropriate lighting practices and systems. Individual fixtures and lighting systems in the Plan Area will be designed, constructed and installed in a manner that controls glare and light trespass, minimizes obtrusive light and conserves energy and resources.

The intent of these standards is to design a lighting system that maintains public safety and security in the Plan Area while curtailing to the extent feasible the degradation of the nighttime visual environment through limiting evening light radiation and/or light spill.

Throughout this section, reference is made to technical publications of the Illuminating Engineering Society of North America (IESNA) and the IESNA Lighting Handbook, Reference & Application, Ninth Edition (hereinafter "Handbook") and Recommended Practices (RP).

12.2 GENERAL LIGHTING STANDARDS

The following general standards shall apply to all lighting in the Plan Area, including residential and commercial land uses.

- 12.2.1 IESNA recommendations for lighting intensity levels (as found in RP-33, RP-8, RP-2, DG-5, RP-20) shall be observed.
- 12.2.2 Direct glare shall not be observable (outside the originating property limits) at an angle greater than 85 degrees from the nadir of the vertical axis of the light source.
- 12.2.2 Full cut-off luminaires (fixtures), shields, visors, recessed lights or other devices shall direct and control obtrusive light. Luminaires shall be mounted to minimize the incidence of direct glare, obtrusive light and/or reflections in the observer's normal field of view and to minimize luminaire (fixture) brightness consistent with the function.
- 12.2.3 Outdoor lighting shall be turned off after use unless needed for safety and security.
- 12.2.4 Where lighting for security purposes is desired or needed, motion sensor-activated lights shall be used to augment area illumination rather than continuous lighting.
- 12.2.4 Lighting systems that project light upward or horizontally shall eliminate light that does not illuminate the intended object. No spill light shall be allowed to go beyond or above externally illuminated signs.
- 12.2.6 Directional, shielded lighting shall be used which eliminates all direct glare or obtrusive light and restricts upwardly directed light only to the features being illuminated.
- 12.2.7 Street and area-lighting, including lighting for parking lots, shall minimize or eliminate direct upward light emission more than 0.2fc 30 feet beyond the property (above 90 degrees from the nadir).
- 12.2.8 All outdoor lighting fixtures, including site and building lighting, shall have directed shielding or shall be recessed so as to prevent direct light from the fixture from shining beyond the

property lines where the fixture is installed. This means that a person standing at or beyond the adjacent property line would not see the light-emitting source.

- 12.2.9 All lighting shall be installed in such a manner to reduce the effect of ambient lighting, light trespass and light pollution. All lighting fixtures shall be of appropriate scale and intensity for the use intended, and building lighting shall be designed to blend in with the architectural design of the building as determined by the DRC and shall be consistent with these standards. The lighting intensity shall be based on the appropriate IES recommended practice (RP-33, RP-8, RP-20 and IES Lighting Handbook.
- 12.2.10 The use of metal halide lighting is prohibited unless otherwise approved by the Planning Director.
- 12.2.11 Lighting plans shall include a point to point analysis which extends ten feet (10') beyond the property line and provides both vertical and horizontal light level calculations.
- 12.2.12 Lighting plans for projects within the Plan Area shall be reviewed and approved by the County's Design Review Committee.

12.3 COMMERCIAL LIGHTING

In addition to the general standards in Section 12.2, the following standards apply to the Village Commercial site and to the Clubhouse/Recreation site adjacent to the golf course.

- 12.3.1 High-pressure sodium lights shall be used for parking lot lighting. High-pressure sodium is preferred for buildings and pedestrian lighting while other technologies such as fluorescent may be employed to minimize lighting levels.
- 12.3.2 The use of metal halide lighting is prohibited unless otherwise approved by the Planning Director.
- 12.3.3 Site lighting including lighting for parking lots shall minimize direct upward light and light trespass. As recommended in IESNA PR-20-98, Table 1, the minimum horizontal illuminance should be 0.2fc and the minimum vertical illuminance should be 0.1fc with no more than 20:1 maximum to minimum Uniformity Ratio. This establishes 4.0fc as the maximum illuminance allowed.
- 12.3.4 As recommended by IESNA RP-33 for areas of low ambient brightness (CIE Zone E2) light trespass from any individual luminaire shall be restricted to 0.1fc vertical illuminance at the property line.
- 12.3.5 Landscape accent lighting should be discouraged. If used to highlight prominent features, special plantings, and pathways, only the minimal light levels necessary shall be employed. Light sources should be concealed so not to distract from the actual object that is being illuminated.
- 12.3.6 Architectural lighting from indirect or hidden sources may be used for wall washing and overhead down lighting.
- 12.3.7 Pathway lighting levels shall be consistent with IESNA Lighting Handbook Figure 22-10 that recommends minimum average horizontal levels of 0.2fc for residential walkways.
- 12.3.8 Light standards shall not exceed 14 feet in height, unless otherwise approved by Planning Director.
- 12.3.9 Lighting standards for parking lots are outline in Table 12.1. The table outlines lighting levels when personal security is of concern, such as where a parking facility is used during night hours or where special security needs are present.

Table 12.1
Parking Lot Lighting Standards

	Typical Conditions	Enhanced Security
Minimum Footcandles on Pavement (1)	0.2 fc	0.5 fc
Maximum Footcandles on Pavement	4.0 fc	7.5 fc
Uniformity Ratio Maximum:Minimum (2)	20:1	15:1
Minimum Footcandles at five feet above Pavement (3)	0.1 fc	0.25 fc

- (1) Measured on the parking surface, without any shadowing effect from parked vehicles or trees at points of measurement.
- (2) The highest horizontal illuminance point at grade, divided by the lowest horizontal illuminance point or area should not be greater than the values shown.
- (3) Measured at five feet above parking surface at the point of the lowest horizontal illuminance, excluding facing outward along boundaries.

12.3.10 Lighting of a properly displayed American flag shall be allowed only if lighted from the top or directly from below and not from the side. When lighted from below, the lighting fixture shall be a spot or narrow spot with a field angle that does not exceed the circumference of the out stretched flag at the plane of the flag. The fixture shall be shielded from direct view. Lighted flags shall not be visible from beyond the Plan Area.

12.4 STREET LIGHTING

12.4.1 Streetlights shall be provided and installed to the satisfaction of the Department of Public Works (DPW) at the following locations: Sierra College Boulevard at Bickford Ranch Road and Lower Ranch Road; and other internal street intersections and locations deemed necessary by DPW for public safety. Streetlights shall be installed consistent with the "Highway Safety Lighting Design for Streets" in Chapter 9 of the Traffic Manual.

- 12.4.2 All streetlights shall use high-pressure sodium lamps conforming to County standards, unless otherwise approved by Planning Director.
- 12.4.3 Roadways in the Plan Area can be considered local low-pedestrian conflict. For this type of roadway, the IESNA/ANSI RP-8-98 luminance/illuminance values recommended in Tables 2 and 3 are a roadway illuminance value (Minimum Maintained Average Values) of 0.4 fc, with a Uniformity Ratio L_{avg}/L_{min} of 6.0, and a Veiling Luminance Ratio of 0.4 or an Average Luminance of 0.3 fc, with a Uniformity Ratio L_{avg}/L_{min} of 6.0, and a Uniformity Ratio L_{max}/L_{min} 10.0 and a Veiling Luminance Ratio L_{vmax}/L_{avg} 0.4.
- 12.4.4 Full cut-off luminaires (fixtures) shall be used for all street lighting, thus minimizing potential direct glare and light pollution. Dropped dish (ovate) refractors shall not be used in roadway luminaries. Only full cut-off light luminaires with flat lenses or other recessed and shielded design shall be permitted. The cobra head with flat bottom, recommended in the County Rural Design Guidelines, is an example of a full cut-off light luminaires. Lighting levels shall be consistent with RP-8 for the type of roadway (Local Intermediate Local Residential).
- 12.4.5 Streetlights and traffic signals, as well as other lights in public areas, shall be of a simple design and consistent in color and style with the surrounding architecture.
- 12.4.6 In residential areas, lighting shall be installed at roadway intersections. Reflective devices shall be used as an alternative to lighting areas such as roadway curves.
- 12.2.7 The recommended luminance/illuminance values for roadways as recommended in Table 2 of IESNA/ANSI RP-8 shall be specified.

12.5 PROHIBITED LIGHTING

The following types of lights are prohibited within the Plan Area:

- 12.5.1 Laser lights or any similar high intensity light.
- 12.5.2 Searchlights for other than for public safety or emergencies.
- 12.5.3 Moving, flashing, blinking or bright colored lights other than those exempted under Section 12.6.
- 12.5.4 Mercury-vapor lighting.
- 12.5.5 Metal halide lighting, unless otherwise approved by the Planning Director.

12.6 EXEMPTIONS

The following lights are exempt from standards contained herein.

- 12.6.1 All temporary outdoor light fixtures producing light directly by the combustion of natural gas or other fossil fuels.
- 12.6.2 Holiday lighting. Lights of less than 15 watts each may be used for holiday decorations but for no more than 45 days. Holiday lights shall be turned off after 11:00 pm and in the Village Commercial Center at close of business. The number and intensity of holiday lights should be consistent with the general standards set forth in Section 12.3.
- 12.6.3 Outdoor advertising signs, if constructed of translucent material, and illuminated totally from within and colored with an opaque or dark background using translucent letters or symbols of very low intensity.
- 12.6.4 Temporary outdoor lighting excluding holiday lights on private property for periods not to exceed two consecutive days and for no more than an aggregate of 30 days per calendar year.
- 12.6.5 Temporary construction lighting necessary for the construction of an allowed use. Permanent lighting must conform to the requirements of this section.

- 12.6.6 Unshielded residential fixtures with 500 lumens total per fixture and partially shielded residential fixtures of 1000 lumens or less total fixture output.

13. FENCES AND WALLS

13.1 DESIGN GOALS

The goal of this section is to ensure that any fences and/or walls constructed in the Plan Area are consistent with the standards and design parameters provided herein. Unlike other developments, the goal with the Bickford Ranch fences and walls standards is to provide for privacy and security and ensure that such enclosures are sensitive to the passage of wildlife and blend into the natural features of the site. The following standards shall apply to fences and/or walls constructed in the Plan Area. Figure 13.1 presents the potential location and type of fences and walls within the Plan Area. This section does not apply to retaining walls.

13.2 GENERAL FENCE AND WALL STANDARDS

In areas where fences and/or walls are constructed, the following standards shall apply.

- 13.2.1 Wetlands and other sensitive areas shall be enclosed with a rail natural wood fence or post and cable, where necessary to protect those habitats.
- 13.2.2 Where fencing is installed along the perimeter of the Plan Area, especially near open space areas, such fencing shall be open-wire and installed in a manner to allow small mammals, as well as deer and other wildlife to pass through or over without harming or trapping them. 2"x4" wire mesh no-climb fencing shall be allowed in limited situations to protect an existing agricultural operation adjacent to the Plan Area.

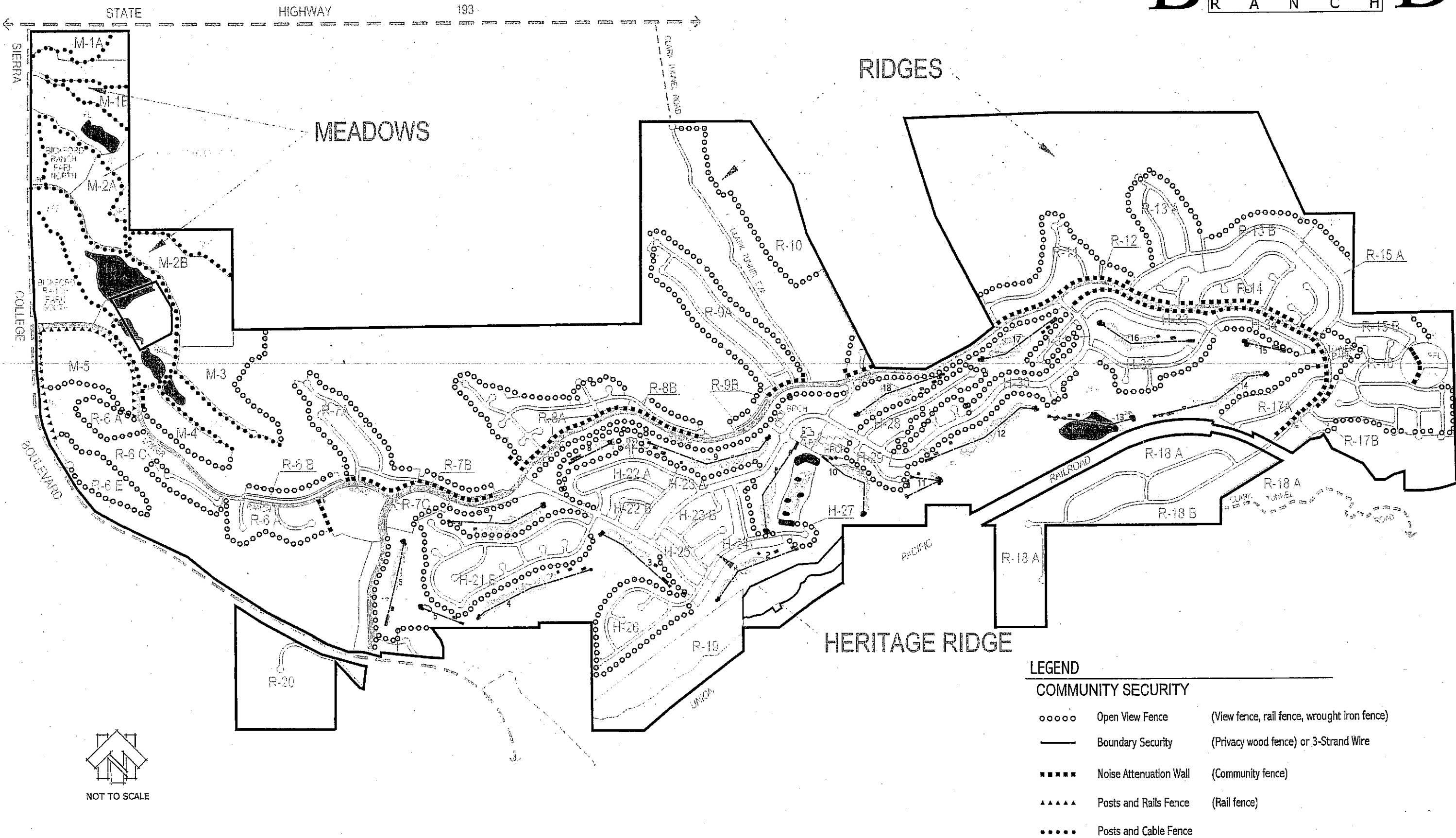


Figure 13.1
POTENTIAL FENCE AND WALL LOCATIONS

13.2.3 The use of barbed wire as part of a fence or hedge is permitted on lots five (5) acres and larger unless otherwise prohibited by applicable existing County, State of California or other public agency regulations.

13.2.4 The rear of the Village Commercial site shall be separated from the adjacent residential areas by masonry walls that are at least six feet (6'0") from the ground.

13.2.5 Golf course boundaries, including those contiguous with residential areas, shall be defined using open fencing techniques and materials. Topographical features and landscaping shall be used to define golf course boundaries where practical.

13.2.6 Rear solid fencing shall not be allowed for those lots directly adjacent to the golf course. Open fencing and landscaping shall be used to enhance the visual effects of the golf course.

13.2.7 Solid wood or split rail wood fencing is permitted for lots not directly adjacent to the golf course, subject to the height limitations provided in Section 13.3, except adjacent to open space areas.

13.2.8 The placement, height, color, and construction of community walls/fencing located in the Plan Area shall be consistent throughout each community. The incorporation of on site native stone shall be used as part of the design.

13.3 FENCES AND WALL HEIGHT LIMITATIONS

13.3.1 Fences, walls, or hedges located along side yard or rear yard lot lines shall not exceed six feet (6'0") in height from the ground. Wall heights may be 6'6" when six inches of the wall are in the ground.

13.3.2 Side yard fences and walls shall be permitted five feet from the side of a building, not within a front setback.

13.3.3 On lots less than one acre in size, front yard fences, walls, or hedges shall not exceed three and one-half (3-1/2) feet except if located outside the setback at the front of the building, where a maximum height of six feet (6'-0") from the ground is allowed. For lots one acre or larger, that are not corner lots, front yard

fences, walls or hedges shall not exceed six feet six inches (6'-0") in height from the ground, provided the fence is located beyond the front yard setback line.

13.3.4 Fences, walls, hedges, signs, artwork, or any other structure or landscape materials located on corner lots shall not exceed thirty-six (36") above the nearest street curb or be placed in such a way as to obstruct the site distance along adjoining streets.

13.3.5 Garden or patio fences less than 3-feet high are permitted within front yard setbacks.

13.4 COMMUNITY FENCES

Community fences are those fences that will be used in areas that are visible from rights-of-way. The following design standards shall apply.

13.4.1 Community fences shall be constructed of durable, long-lasting materials that require minimal maintenance.

13.4.2 Community fences shall not exceed six feet (6'0") in height.

13.4.3 Community fences shall appear to be finished on both sides with the side visible to the public given the greater emphasis.

13.4.4 Community fences shall be consistent throughout the Plan Area in terms of site placement, design, construction, height, color, and texture.

13.4.5 Solid privacy fences shall be used for screening of residential yards, at property lines and as a wing fence (fences that wrap around to residential units from sideyard fence, perpendicular to residential unit) as appropriate. Privacy fences shall be no greater than six feet high and occur in side and rear yards only. Privacy walls are not permitted where a residential side or rear yard abuts open space.

An example of a privacy fence is shown on Figure 13.2.

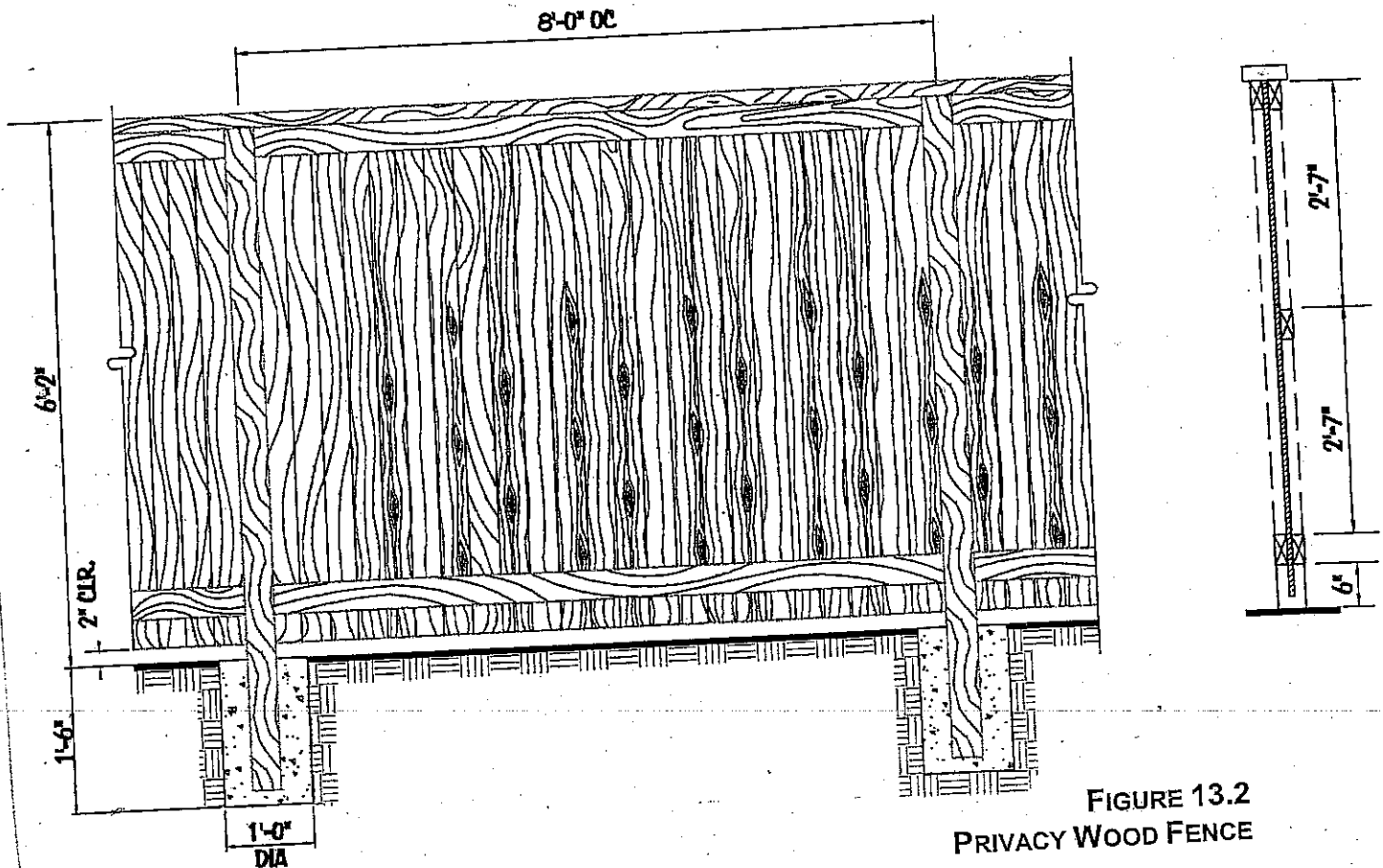


FIGURE 13.2
PRIVACY WOOD FENCE

13.5 COMMUNITY WALLS

Where community walls are installed along Bickford Ranch Road, the following standards shall be followed.

- 13.5.1 The incorporation of on site native stone shall be used as part of the design.
- 13.5.2 Walls shall be constructed of durable, long-lasting materials that require low maintenance. No plain, unfinished concrete block is permitted.
- 13.5.3 Walls shall not block views to the open space areas, but shall only be used where residential areas are adjacent fire access areas.
- 13.5.4 Wall height shall not exceed six feet six inches (6'-0") from the ground in height unless site conditions of terrain and may require variation in height.

- 13.5.5 Walls should be screened by construction of earthen berms and landscaping.
- 13.5.6 Walls should be installed as part of the subdivision improvements.
- 13.5.7 Walls that must be stepped to address elevation changes shall be designed with vertical increments that do not exceed twenty-four (24) inches at any one time. Steps in wall shall be sixteen (16") minimum steps (2 courses).
- 13.5.8 Wall placement and design shall be reviewed through the County's Development Review Committee process.

Figure 13.3 presents a conceptual design for a privacy wall and pilaster. Privacy walls shall be constructed of split face block and shall be planted with crawling vines, six feet on center.

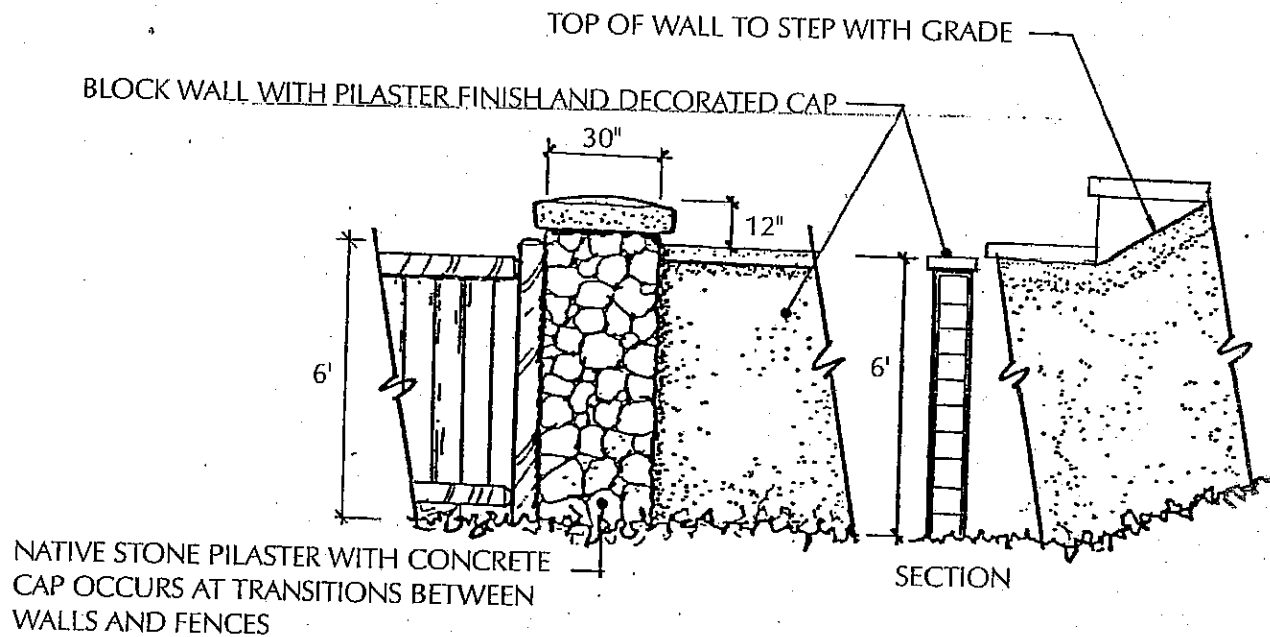


FIGURE 13.3
PRIVACY WALL AND PILASTER

13.6 WROUGHT IRON FENCE (OPEN VIEW FENCE)

Wrought iron fences are designed to be visually open and should be used where residential uses are adjacent to the golf course and natural open space. Figure 13.4 presents a conceptual design for a wrought iron fence. The wrought iron fence will have flat caps only.

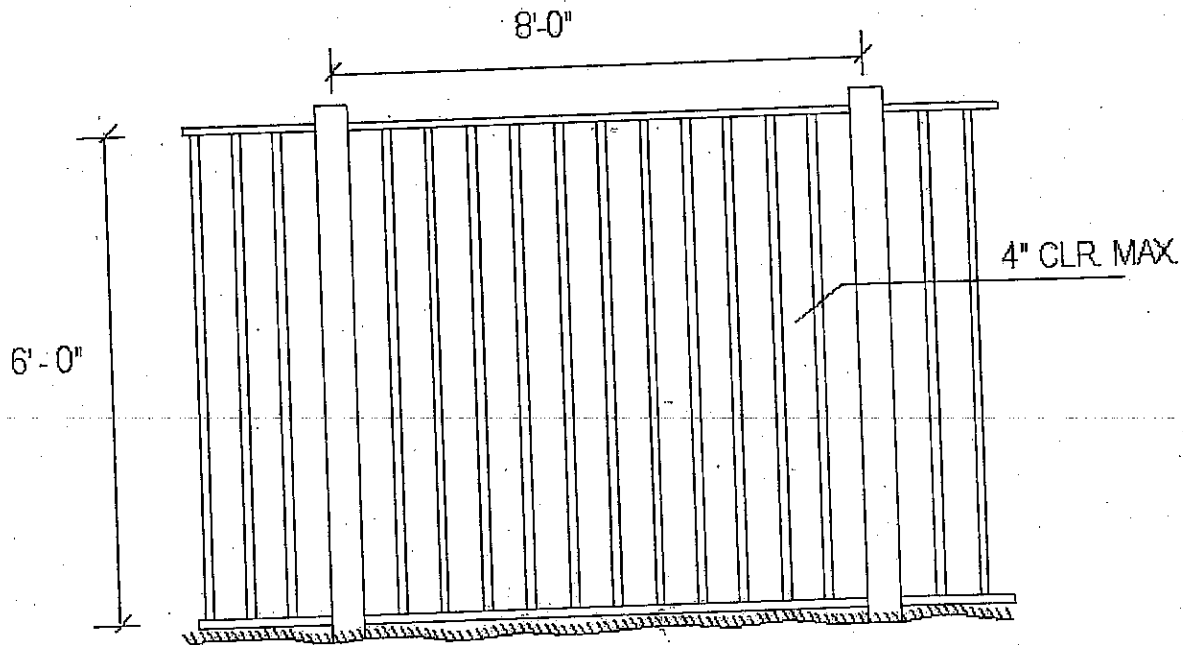


FIGURE 13.4
WROUGHT IRON FENCE

13.7 RAIL FENCES (OPEN VIEW FENCE)

Rail fences are designed to be visually open and should be used when adjacent to open space corridors. Potential locations for rail fencing include the Meadows area, and along the right-of-way portions of Bickford Ranch Road and Lower Ranch Road, where sound attenuation necessitating sound walls is not needed. The following standards shall apply. Figure 13.5 illustrates a typical rail fence.

- 13.7.1 Two or three rail fences may be used to define right of way corridors and open space.
- 13.7.2 Alternate materials that resemble wood are allowed. Supporting posts should match the fencing material.

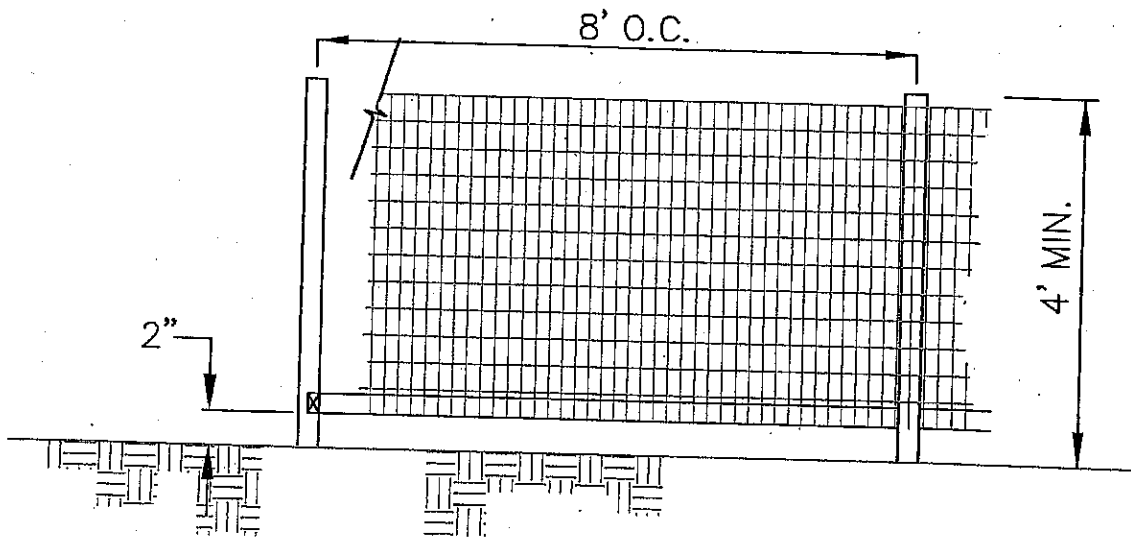


FIGURE 13.7
OPEN WIRE FENCING

13.10 FENCING LIMITATIONS

- 13.10.1 Fences and/or walls shall not be constructed in a manner that blocks drainage easements.

14. AIR QUALITY

An Air Quality and Transportation System Management (TSM) Plan has been prepared for the Bickford Specific Plan Area. The TSM Plan is a companion to the Bickford Ranch land use plan, which already seeks to reduce vehicular travel through the an extensive trail system. The trail system connects the individual residential areas and the recreation and commercial area and serves as a convenient alternative mode of travel to the automobile. In addition, over half of the units are planned in the Heritage Ridge area, an age-restricted community that will include golf cart paths. The golf cart paths provide a system for an alternative mode of transportation for the residents via electric golf carts to points within the Heritage Ridge area as well as to the practice range and the Village Commercial site.

The TSM Plan incorporates the additional measures to further reduce pollution through a variety of state of the art techniques and mobile sources. Below are requirements that apply to the Plan Area as a whole, to residential areas, to the Village Commercial site and measures applicable to construction. In addition, project mitigation measures identified in Appendix A of the Bickford Ranch Specific Plan shall apply.

14.1 RESIDENTIAL REQUIREMENTS

The following on-site measures shall be incorporated into the CC&Rs for all residential uses in the Plan Area:

14.2 VILLAGE COMMERCIAL SITE REQUIREMENTS

The following air pollution reduction measures and features shall be incorporated into the design of the Village Commercial site.

- Install at appropriate location(s) Class I bicycle lockers and bicycle racks.
- Construct a park-and-ride lot. The park-and-ride lot shall be incorporated into the overall parking lot design for the site and shall include a minimum of ten spaces
- Post signage prohibiting idling of diesel vehicles for longer than five minutes.
- Permit a mix of land uses including retail commercial, business professional and residential uses.
- Construct one bus stop to be used for either fixed route service within the Plan Area or commuter service.
- Provide electric vehicle charging facilities.
- Provide a community notice board and informational kiosk with information about community events, ride-sharing, commute alternatives.

14.3 PLAN AREA REQUIREMENTS

The following on-site measures shall be completed for the entire Plan Area and/or incorporated into the CC&Rs for the Plan Area as on-going air pollution reduction requirements:

- Open burning of any kind is prohibited through the Plan Area.
- Use of gasoline powered lawn mowers on homes with lots sizes under one-half acre shall be prohibited by homeowners and/or landscape maintenance companies.
- Gas-powered golf carts shall be prohibited.

- Implement an exclusive cable television channel to provide information on important community issues, air quality forecasts for "Spare the Air Days", and rideshare messages.
- Educational materials regarding air quality shall be included in homeowners/renters packages for all occupants. Information contained in these packages will, at a minimum, provide information in the following areas:
- Commute options: Inform project occupants of the amenities provided by Bickford Ranch in terms of alternative travel modes, including ridesharing and mass transit availability/schedules; and
- At the commercial center, maps showing Plan Area pedestrian, bicycle, and golf-cart paths to community centers, shopping areas and recreational areas shall be provided.
- Two sheltered bus stops with turnouts shall be provided. One bus stop shall be located within the Village Commercial site and the other shall be located near the main entrance to the Heritage Ridge community. The bus stops shall be used for either fixed route service within the Plan Area or commuter service.

14.4 CONSTRUCTION REQUIREMENTS

The following measures shall be implemented during project construction of the project.

- All construction equipment shall be maintained.
- A Construction Emission/Dust Control Plan shall be prepared and submitted to the Placer County Air Pollution Control District for review and approval prior to grading permits.
- Construction contracts shall stipulate that at least twenty percent (20%) of the heavy-duty off-road equipment included in construction vehicle inventory be powered by CARB-certified off-road engines, as follows:

175 hp – 775 hp
100 hp – 174 hp
50 hp – 99 hp

1996 and newer engines
1997 and newer engines
1998 and newer engines

In lieu of or in addition to this requirement, an application can use other measures to reduce particulate matter and nitrogen oxide emissions from their project through the use of emulsified diesel fuel and/or particulate matter traps. The District should be consulted regarding this measure.

- The prime contractor shall submit to the Placer County Air Pollution Control District a comprehensive inventory (i.e. make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used for an aggregate of forty (40) or more hours for the construction project. District personnel, with assistance from the California Air Resources Board, will conduct initial Visible Emission Evaluations of all heavy-duty equipment on the inventory list.
- An enforcement plan shall be established to weekly evaluate project-related on- and off-road heavy-duty vehicle engine emissions opacities, using standards as defined in California Code of Regulations, Title 13, Section 2180 to 2194. An Environmental Coordinator, CARB-certified to perform Visual Emissions Evaluations (VEE), shall routinely evaluate project related off-road and heavy duty on-road equipment emissions for compliance with this requirement. Operators of vehicles and equipment found to exceed opacity limits will be notified and the equipment must be repaired within 72 hours.
- A construction-worker trip-reduction program shall be implemented to reduce emissions associated with construction worker vehicles and to achieve a 1.5 AVR for construction employees.

15. DEVELOPMENT NOTEBOOK

The purpose of the Bickford Ranch Development Notebook, "Development Notebook," is to facilitate the building permit review process for lots located within the Heritage Ridge, Meadows and Ridge Communities. A final version of the "Development Notebook" inserted into a three ring binder with the subdivision name placed on the spine will be available at the Placer County Planning Department.

New lot owners will be furnished with the Bickford Ranch Development Notebook which will include a Key Map, showing the lot location, an Information Sheet pertaining to building and lot requirements, and a Plot Plan for the applicant to show the placement of the home for their submittal for a building permit. References in this section to "Applicant" refer to lot owners who submit an application for a building permit. The Development Notebook will also serve as the County's tool to evaluate building permit applications for building on each lot. The Development Notebook for each lot will be noted on the final map prepared for subdivisions.

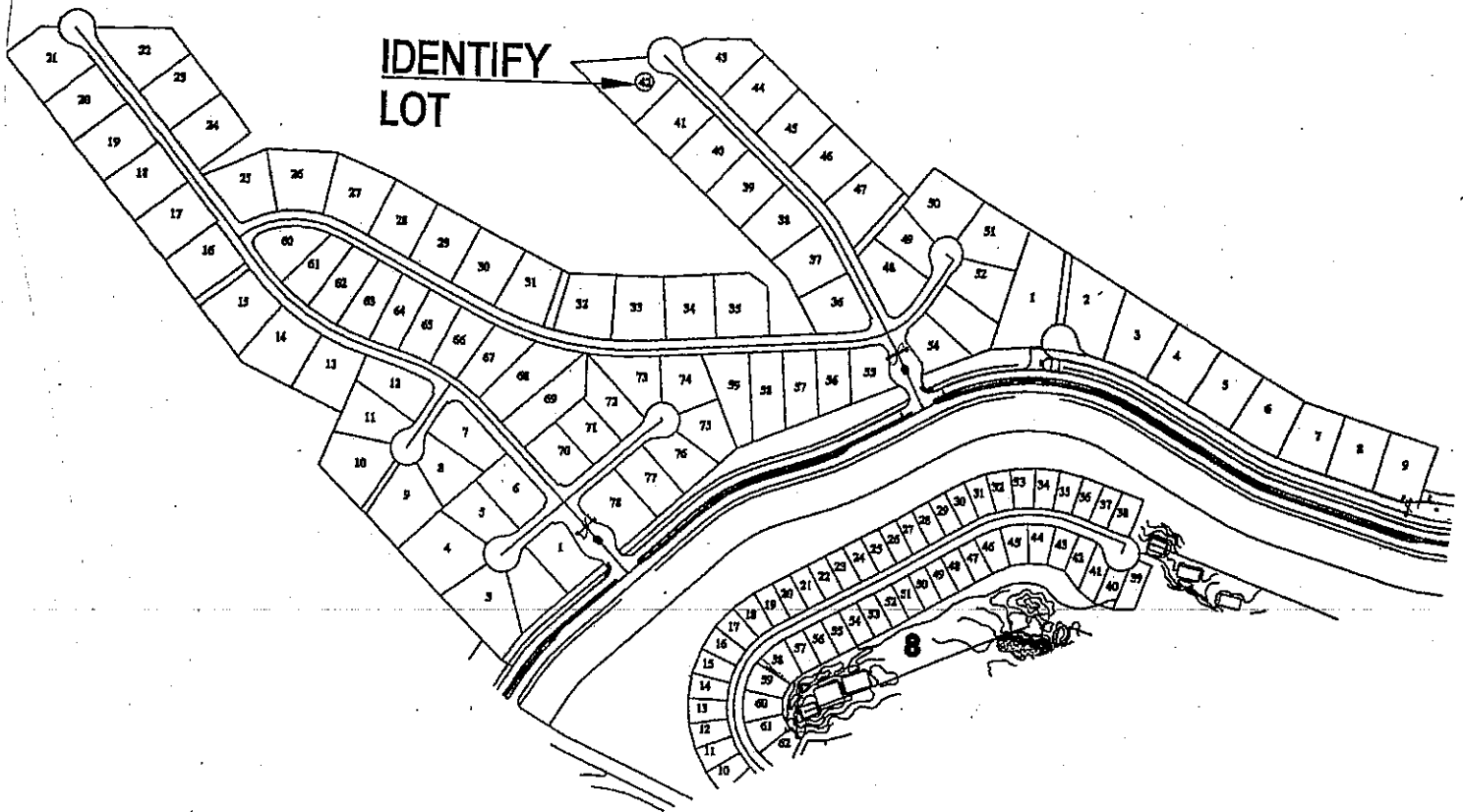
15.1 KEY MAP

A Key Map shall be provided which shows the lot location within the project area. A sample of a key map is shown in Figure 15.1.

15.2 INFORMATION SHEET

An information sheet will be prepared for each individual lot that provides information on the types of permitted uses on the lot and pertinent information about habitat and physical features. Figure 15.2 presents a sample Information Sheet.

BICKFORD RANCH



NOTE:

ALL LANDS WITHIN THE H.P.E. OR W.P.E 30% SLOPE EASEMENT ARE TO BE PROTECTED AGAINST ANY DISTURBANCES, INCLUDING THE PLACEMENT OF FILL MATERIALS, LAWN CLIPPINGS, OIL, CHEMICALS, OR TRASH OF ANY KIND WITHIN THE EASEMENT; NOR ANY GRADING OR CLEARING ACTIVITIES, VEGETATION REMOVAL, ANIMAL GRAZING, OR DOMESTIC LANDSCAPING AND IRRIGATION, INCLUDING ACCESSORY STRUCTURES SWIMMING POOLS, SPAS AND FENCING (EXCEPT THAT SPECIFICALLY REQUIRED BY THE DRC). TRIMMING OR OTHER MAINTENANCE ACTIVITY ALLOWED ONLY FOR THE BENEFIT OF FISH, WILDLIFE, FIRE PROTECTION, AND WATER QUALITY RESOURCES, AND FOR REQUIRED BY THE FIRE DEPARTMENT, AND ONLY WITH WRITTEN CONSENT OF THE DRC, ENFORCEMENT IS PER THE HOMEOWNERS ASSOCIATION.

FIGURE 15.1
DEVELOPMENT NOTEBOOK
SAMPLE KEY MAP

FIGURE 15.2 DEVELOPMENT NOTEBOOK SAMPLE INFORMATION SHEET

Lot Square Footage _____
 Lot Type _____
 Residential Building Height: _____

Interior Lot Number _____
 Assessor Parcel No. _____
 Address _____

Building Setbacks (unless otherwise shown on lot diagram)

Front Yard _____ from street right of way Side Yard(s) _____ from property line
 Street Side Yard _____ from property line Rear Yard(s) _____ from property line

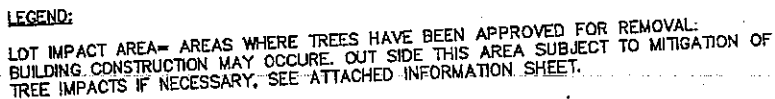
- A Grading Permit is required for Type A lots, if grading is to exceed 250 cubic yards or the proposed driveway exceeds 12%, prior to building permit issuance. Temporary protective fencing with warning signs placed along the edge of the Historical or Wetland Preservation Easements as well as for tree protection, near the proposed construction activities.
- Individual cuts or fills for residential structure foundations shall not exceed 5' in vertical depth.
- Under normal operation of the water system, this lot may have a house service pressure on the ground floor of more than 80 psi. This water pressure level is above that considered desirable by the Placer County Water Agency. The property owner shall install a pressure-reducing valve in the service line in order to reduce house service pressure to a maximum of 60 psi.
- If the proposed lot impact area for an individual lot matches that shown in the Development Notebook on file with Placer County, no further tree mitigation will be required. If the proposed construction area for an individual lot differs from the Development Notebook, a final tree count within the new construction area will be prepared to identify all trees with a DBH of 6 inches or more. If the Applicant proposes to remove trees other than those identified for removal in the Development Notebook, Applicant will be required to submit a line of site visual analysis to demonstrate that the removal of the trees does not create visual impacts. The line of site analysis shall be based on the vantage points identified in the project's environmental analysis. For mitigation of removing any trees in excess of those identified in the Applicant's Tree Removal Plan, the home builder will pay into either the Placer County Tree Preservation Fund or into a mitigation fund to be established by the Applicant and used to plant additional native trees onsite. Homebuilders owning a cluster of lots may remove the net total of trees for the lots as identified in the Applicant's tree removal plan. Any additional trees removed will be mitigated by payment into either the County's Tree Preservation Fund or a mitigation fund for on-site plantings.
- Consult the Bickford Ranch Community Design Guidelines and Development Standards for additional restrictions. Building Plans are to be reviewed and approved by the Bickford Ranch Architectural Review Committee (ARC) prior to submittal of plans to Placer County.
- Consult the Bickford Ranch Community Design Guidelines and Development Standards for additional restrictions. Building Plans are to be reviewed and approved by the Bickford Ranch Architectural Review Committee (ARC) prior to submittal of plans to Placer County.
- Relevant conditions of approval governing lot development of this lot including the following: [List]
- Restrictions regarding development of this lot include the following: [List]

Reviewed and approved by Bickford Ranch Architectural Review Committee (ARC): _____
 (date).

15.3 PLOT PLANS

A plot plan will be prepared for each individual lot and shall include the following information. A sample plot plan is shown on Figure 15.3.

- Street names
- Recorded easements (type, dimensions, etc.)
- Building and accessory setbacks
- Trees (trunk location, 6" diameter at 54" aboveground, multiple trunk trees with an aggregate diameter of 10" or more at 54" aboveground and dripline) within the lot.
- Lot impact area (area that trees have been approved for removal).
- Trees that may be removed within the proposed lot impact area
- Lot number
- Scale and north arrow
- Location of curb, gutter, and sidewalk or the edge of pavement
- Location of other improvements such as storm drains, fire hydrants, etc.
- Easements for sensitive environmental areas (e.g. wetlands, historical resources, endangered habitat and greater than 30% slope areas)
- Topographic (2-foot contour interval)
- Sewer/water service and mains
- Utility easements
- Cuts/fills for roadway construction & driveways
- Bearing and distances of property lines
- For those lots with proposed driveways in excess of 12%, said lot shall be noted and required to obtain a grading permit at time of building permit issuance.



~~X~~ TREE APPROVED FOR REMOVEAL

APPENDIX A IMPLEMENTING ORDINANCE

**Ordinance will be inserted after
Board action.**